

MISSION STATEMENT: “The City of Mound, through teamwork and cooperation, provides, at a reasonable cost, quality services that respond to the needs of all citizens, fostering a safe, attractive and flourishing community.”

MOUND PLANNING COMMISSION SPECIAL/RESCHEDULED MEETING AGENDA

TUESDAY, NOVEMBER 18, 2025, 6:00 P.M.

COUNCIL CHAMBERS, MOUND CENTENNIAL BUILDING

5341 MAYWOOD ROAD, MOUND, MN

- | | Pages |
|---|---------|
| 1. Call to Order | |
| 2. Roll Call | |
| 3. Review and approval of agenda, including any amendments | |
| 4. Review and action | |
| A. September 2, 2025 regular meeting minutes | 1 - 3 |
| 5. Board of Adjustment and Appeals | |
| A. Review/recommendation – Planning Case No. 25-11
Lakeshore variance – patio removal / open deck replacement
5459 Bartlett Boulevard
Applicant: Lisa Thostenson | 4 - 15 |
| B. Review/recommendation – Planning Case No. 25-13
Expansion permit – new/replacement house
2971 Cambridge Lane
Applicant: Erica Hway from Landschute, on behalf of owners, Timothy and Joan Kenny | 16 - 39 |
| 6. Old / New Business | |
| A. Review/discussion – 2025 Work Plan Project | |
| i. Review/discussion of City Code Sec. 129-314 Exterior Storage | 40 - 43 |
| B. City Council Liaison and Staff Project Update/Report | |
| i. City Council Policy for Commission Appointments and Reappointments
approved October 28, 2025 | |
| ii. Other(s) | |
| C. Next Meeting - Tues., December 2, 2025 Regular Meeting at 6:00 p.m. | |
| 7. Information Items - None | |
| 8. Adjourn | |

The Planning Commission is an advisory body to the City Council. One of the Commission’s functions is to hold public hearings and make recommendations to the City Council. The City Council makes all final decisions on these matters. Mound City Ordinances require that certain documents and information be included in applications. The Planning Commission may postpone consideration of an application that is incomplete and may for other reasons postpone final action on an application. For each agenda item the Commission will receive reports prepared by the City staff, open the hearing to the public, and discuss the action on the application.”

QUESTIONS: Call Sarah Smith at 952-472-0604

MEETING MINUTES
REGULAR PLANNING COMMISSION
SEPTEMBER 02, 2025

1. Call to Order

Chair Goode called the meeting to order at 6:00 p.m.

2. Roll Call

Members present: David Goode, Sheri Wallace, Nick Rosener, Jason Baker, Drew Heal, Samantha Wacker, Kristin Young and Kathy McEnaney

Members absent: None

Staff present: Sarah Smith, Sarah Lenz

Others present: Kathy & Rodney Thyr (1705 Baywood Shores Drive), James Shull (1724 Baywood Shores Drive), Steve Hanson (5723 Kipling Ave, Minnetonka)

3. Review and approval of agenda, including any amendments

Additional photographs were provided by Kathy Thyr to review during discussion of Planning Case 25-09.

MOTION by Baker, seconded by Rosener, to approve the agenda as amended. **MOTION** passed unanimously.

4. Review and action

A. August 19, 2025 special/rescheduled meeting minutes

MOTION by Baker, seconded by Rosener, to approve the August 19th, 2025 meeting minutes. **MOTION** passed unanimously.

5. Board of Adjustment and Appeals

A. Review/recommendation – Planning Case No. 25-09

Variance – Second Driveway/Apron

1705 Baywood Shores Drive

Applicants: Rodney and Kathleen Thyr

Smith gave an overview of the property and the request for a second driveway/apron on Baywood Shores Drive. City Code Sec.129-198 (b) states the number of driveways on major streets is limited to one unless approved by the City Engineer. Smith noted the proposed location of the driveway is near a hydrant and the painted curb intended to prevent parking. Smith stated Staff did not recommend approval in the Planning Report. Smith said the City Engineer did not recommend approval in his letter which was included in the Planning Report.

Baker inquired about the code excerpt that limits access. Smith commented that application of the code is that 1 access is allowed. Baker asked if the curb was painted by request of the property owners. Smith said an inquiry was received from the property owners and Public Works painted it to protect the hydrant and prevent parking to allow turning. Parking is only allowed on one side of Baywood Shores Drive.

Wallace asked for clarification of the proposed location and discussion ensued about City Code and parking regulations.

Kathy Thyr approached the podium and commented that Mound is a recreational community and many residents have vehicles, boats, trailers, RV's and fish houses. Ms. Thyr stated that although their driveway is not located on a main road, the driveways on Three Points Boulevard, which is a major road, also could impede traffic with their recreational vehicles and commented she has not seen any accidents. Ms. Thyr

reviewed the photo examples of properties with similar qualities of their proposed driveway/apron and said it is unfair for them to get approval but this request be denied. She also informed the Planning Commission that she had contacted neighbors about the request and received their support.

Member discussion ensued about where items are or will be parked on the property according to the code and the different possibilities or requirements needed if approval is granted. Baker commented that the applicant had contacted neighbors about the request who expressed support and that the current parking taking place in the rear/back is preferred. The need to evaluate this section of the code was also brought up.

MOTION by Wallace, seconded by Baker, to recommend approval of Planning Case 25-09. McEnaney, Wallace, Rosener, Baker, Young and Goode voted in favor. Heal and Wacker voted against. **MOTION** passed 6-2.

Staff requested the Planning Commission make findings for its recommendation.

Member Wacker, who voted against the motion to recommend approval, stated she would like to see the area improved to driveway standards and is concerned about setting precedence, believes there are safety issues and commented about lack of hardship. Member Heal, who also voted against the motion to recommend approval, would like the driveway to be paved as a condition.

Members voting in favor of the motion to recommend approval did not support Staff's recommendation for denial and the recommendation for approval was based on the discussion that took place including current parking taking place on the property and parking in the rear is preferred.

**B. Review/recommendation – Planning Case No. 25-10
Expansion Permit – Deck (Portion) Conversion to Screen Porch
1765 Jones Lane
Applicant: Steve Hanson on behalf of Steve Chase**

Smith gave an overview of the deck conversion project explaining a portion of the deck is being converted to a solid structure intensifying the area but staying within the same footprint that received a prior variance approval for a lesser setback. The deck meets code requirements and does not exceed the 40% maximum hardcover coverage. Staff recommends approval with six conditions and four findings of fact.

Steve Hanson introduced himself and explained Steve Chase, the owner, enjoys sitting on the deck with a view of the lake but would like to be screened in due to the bugs. Hanson said the footings will need repair which will be addressed during the building permit process. The siding of the enclosed deck will match the siding of the house and follow the contour of the roof making its appearance uniform.

MOTION by Baker, seconded by Rosener, to approve Planning Case 25-10 with 6 conditions and 4 findings of fact. **MOTION** passed unanimously.

6. Old / New Business

A. City Council Liaison and Staff Project Update / Report

McEnaney said the OLL Incredible Festival is coming up and asked for an update on the Halstead project. Smith responded saying approvals and the preliminary plat has been approved on the Minnetrista side and applications have been received in Mound but not the supporting documents.

Smith also mentioned the OLL Incredible Festival is coming up which will take place around the same time as Mama's Happy Fall Festival.

B. Next Meeting - Tues., October 7, 2025 Regular Meeting 6:00 p.m.

The next meeting will take place Tuesday, October 7, 2025 at 6:00 p.m.

7. Information Items - None

8. Adjourn

MOTION by Baker, seconded by Rosener, to adjourn at 7:24 p.m. **MOTION** passed unanimously.

Submitted by Sarah Lenz



PLANNING REPORT

TO: Planning Commission
FROM: Sarah Smith, Community Development Director;
Rita Trapp, Consultant Planner
SUBJECT: Variance – Impervious Patio to Pervious Deck Replacement Project
PLANNING CASE: 25-11
APPLICANT: Lisa Thostenson (Project Representative is Scott Gates)
LOCATION: 5459 Bartlett Boulevard
MEETING DATE: November 18, 2025
COMPREHENSIVE PLAN: Low Density Residential
ZONING: R-1A Single Family Residential

BACKGROUND

Lisa Thorsensten, the (new) owner of the property at 5459 Bartlett Boulevard, has submitted an application requesting variance approval to allow replacement of an existing on-ground impervious patio previously constructed on the back of house (lakeside) with an open deck in the same location to include ¼ inch openings and no roof/no concrete or landscaping underneath. A variance is requested as the existing (impervious) patio, which is to be replaced with a (pervious) deck, does not meet the 50-foot lakeshore setback. The applicant's project representative is Scott Gates who has been assisting with the variance application.

VARIANCE

City Code Section 129-40 (a) states that a variance may be granted to provide relief to a landowner where the application of the City Code imposes practical difficulty for the property owner.

- (1) The variance proposed meets the criteria for Practical Difficulties as defined in City Code Sub. 129-2.
- (2) Granting of the variance requested will not confer on the applicant any special privilege that is denied by this chapter to owners of other lands, structures or buildings in the same district nor be materially detrimental to property within the same zone.
- (3) The variance requested is the minimum variance which would alleviate the practical difficulty.

- (4) A variance shall only be permitted when it is in harmony with the general purposes and intent of the zoning ordinance and when the terms of the variance are consistent with the comprehensive plan.

According to City Code Sec. 129-2, "*Practical Difficulties*" is defined as follows:

Practical Difficulties, as used in conjunction with a variance, means that:

- (i) The property owner proposes to use the property in a reasonable manner not permitted by the zoning ordinance; and
- (ii) The plight of the landowner is due to circumstances unique to the property including unusual lot size or shape, topography or other circumstances not created by the landowner; and
- (iii) The variance, if granted, will not alter the essential character of the locality.

Economic considerations alone do not constitute practical difficulties. Practical difficulties include, but are not limited to, inadequate access to direct sunlight for solar energy systems

TIMELINE FOR DECISION

Pursuant to Minnesota State Statutes Section 15.99, local government agencies are required to approve or deny land use requests within 60 days. Within the 60-day period, an automatic extension of no more than 60 days can be obtained by providing the applicant written notice containing the reason for the extension and specifying how much additional time is needed. For the purpose of Minnesota Statutes Section 15.99, "Day 1" is determined to be October 2, 2025. provided by Minnesota Statutes Section 645.15. The review period can be extended by the City for an additional 60 days. The 60-day timeline expires on or around November 30, 2025. The applicant and Planning Commission are advised that the City will be executing a 60 day extension for action on the variance.

NOTIFICATION

Neighbors in the vicinity of the property at 5459 Bartlett Boulevard, per Hennepin County taxpayer records, were mailed a letter on November 7th to inform them of the Planning Commission's review of the application at its November 18th special/rescheduled meeting.

DISCUSSION

1. The applicant purchased the property this past summer. The existing house, which was built in 1900, has road frontage on Bartlett Boulevard on the north side of the lot and lakeshore frontage on Lake Minnetonka on the south side of the lot. There is also a guest cottage and detached accessory garage on the property. An expansion permit was approved in 2017 that allowed for construction of an attached garage addition and main floor master suite and 45 percent hardcover.
2. The proposed new lakeside deck will replace the existing patio which runs the length of the house and extends approximately 14 feet towards the lake.
3. While the existing patio and proposed new deck are not meeting the lakeshore setback, the proposed new open deck will meet the minimum side setbacks required by the City Code.
3. Maximum allowed impervious surface coverage on the property is allowed up to 45 percent as lawful, nonconforming. The survey showed hardcover slightly over 45 percent but additional information from the applicant representative indicates the current amount is between 43-44 percent but will be under the 40 percent allowance for a lot of record. The proposed new deck will be open and does not include hardcover or landscaping/plastic underneath and will not count towards hardcover.

STAFF/CONSULTANT/DEPARTMENT/AGENCIES REVIEW

Copies of the request and supporting materials were forwarded to involved departments, consultants, and public agencies for review and comment.

MnDNR. MnDNR Hydrologist Ryan Toot provided the following comments for the variance request:

"Thank you for the opportunity to review this variance request.

The proposal is a new non-conforming structure at a higher elevation of the current non-conforming structure at up to 70% of the required structure setback from the Ordinary High Water Level of Lake Minnetonka in Mound. Structure setbacks help preserve the character (aesthetic, visual, and otherwise) of shorelands, reduce non-point source pollution into water bodies, and maintain property values.

If the variance is approved, I recommend a vegetated buffer, preferably native vegetation, be required as mitigation to screen the new, somewhat higher structure from the lake and assist in preventing any excess runoff caused by the lack of vegetation in the structure's footprint within the legal setback."

The MnDNR Area Hydrologist's comments were shared with the applicant who is receptive to incorporating plantings along the shoreline.

Hennepin County Transportation Department. Hennepin County Transportation provided comments that their plat review committee did not have any concerns with the request.

STAFF RECOMMENDATION

Staff recommends approval of the variance and proposes the following conditions:

1. The applicant shall be responsible for recording the resolution with Hennepin County unless the applicant requests the City file the resolution with the recording fees to be paid by the escrow. The applicant is advised that the resolution will not be released for recording until all fees for the variance application have been paid and the escrow account is in good standing.
2. Applicant shall be responsible for procurement of any and/or all public agency permits including the submittal of all required information prior to building permit issuance.
3. A natural planting/landscape buffer near the shoreline shall be established which shall be subject to review/acceptance by the City.
4. Additional comments and/or conditions from the City Council, Staff, consultants, and public agencies.

Staff recommends Planning Commission recommend approval of the variance based on the following findings of fact:

1. The criteria of City Code Section 129-40 Variance are being met.
2. The replacement deck is open and decreases hardcover. The property, post construction construction, is being brought into conformance with the 40 percent hardcover allowance for a lot of record and viewed as favorable.
3. The new open deck to replace the existing patio is generally on grade.
4. A lakeside deck for a single-family home is reasonable and allows for enjoyment and recreational use. The deck is in harmony with other uses in the area and fits the character of the neighborhood.

CITY COUNCIL REVIEW

In the event a recommendation for the variance is received from the Planning Commission at its November 18th meeting, the application will be forwarded to the City Council for consideration at an upcoming meeting with tentative dates of Tues., November 25th or Tues., December 9th.



2415 Wilshire Boulevard, Mound, MN 55364
Phone 952-472-0600 FAX 952-472-0620

VARIANCE APPLICATION

5202 1 0 130

Application Fee and Escrow Deposit required at time of application.

Planning Commission Date _____

Case No. _____

City Council Date _____

Please type or print legibly

SUBJECT PROPERTY LEGAL DESC.	Address <u>5459 Bartlett Blvd.</u>	
	Lot <u>LOT 19 AND E 25 FT OF LOT 18 ALSO THAT PART OF THE ABANDONED BLVD ..</u>	Block <u> </u>
	Subdivision <u>"THE BARTLETT PLACE" UPPER LAKE MINNETONKA</u>	
	PID # <u>2411724230021</u> Zoning: R1 R1A R2 R3 B1 B2 B3 (Circle one)	
PROPERTY OWNER	Name <u>Mark & Lisa Thostenson</u> Email <u> </u>	
	Address <u>5459 Bartlett Blvd, Mound, MN</u>	
	Phone Hor <u> </u> Work <u> </u> Fax <u> </u>	
APPLICANT (IF OTHER THAN OWNER)	Name <u>Owner</u> Email <u> </u>	
	Address <u>If I'm out of town - Scott Gates in gear</u>	
	Phone Home <u> </u> Fax <u> </u>	

1. Has an application ever been made for zoning, variance, conditional use permit, or other zoning procedure for this property? Yes () No (X). If yes, list date(s) of application, action taken, resolution number(s) and provide copies of resolutions.

Owners recently purchased property.

2. Detailed description of proposed construction or alteration (size, number of stories, type of use, etc.):

Remove existing impervious patio and replace with same sized deck at appx. 16" above grade.

Case No. _____

3. Do the existing structures comply with all area, height, bulk, and setback regulations for the zoning district in which it is located? Yes () No (X). If no, specify each non-conforming use (describe reason for variance request, i.e. setback, lot area, etc.):

Existing historical patio is within 50' lakeshore setback.

SETBACKS:	REQUIRED	REQUESTED (or existing)	VARIANCE
Front Yard: (N S E W)	_____ ft.	_____ ft.	_____ ft.
Side Yard: (N S E W)	_____ ft.	_____ ft.	_____ ft.
Side Yard: (N S E W)	_____ ft.	_____ ft.	_____ ft.
Rear Yard: (N S E W)	_____ ft.	_____ ft.	_____ ft.
Lakeside: (N S E W)	50' _____ ft.	35' _____ ft.	15' _____ ft.
_____ : (N S E W)	_____ ft.	_____ ft.	_____ ft.
Street Frontage:	_____ ft.	_____ ft.	_____ ft.
Lot Size:	_____ sq ft	_____ sq ft	_____ sq ft
Hardcover:	_____ sq ft	6,887 (43.03%) sq ft	No additional sq ft

4. Does the present use of the property conform to all regulations for the zoning district in which it is located? Yes (X), No (). If no, specify each non-conforming use:

5. Which unique physical characteristics of the subject property prevent its reasonable use for any of the uses permitted in that zoning district?

() too narrow	() topography	() soil
() too small	() drainage	(X) existing situation
() too shallow	() shape	() other: specify

Please describe: Location of the home on the site

Case No. _____

6. Was the practical difficulty described above created by the action of anyone having property interests in the land after the zoning ordinance was adopted (1982)? Yes (), No (X). If yes, explain:

The original placement of home when constructed in appx 1900 created the current practical difficulty.

7. Was the practical difficulty created by any other human-made change, such as the relocation of a road? Yes (X), No (). If yes, explain:

Location of the home as established in appx 1900 when origin

8. Are the conditions of practical difficulty for which you request a variance peculiar only to the property described in this petition? Yes (X), No (). If no, list some other properties which are similarly affected?

9. Comments: Variance requested is similar to many nearby single and multi-family lake lots.

I certify that all of the above statements and the statements contained in any required papers or plans to be submitted herewith are true and accurate. I acknowledge that I have read all of the variance information provided. I consent to the entry in or upon the premises described in this application by any authorized official of the City of Mound for the purpose of inspecting, or of posting, maintaining and removing such notices as may be required by law.

Owner's Signature _____

Date

10/1/25

Applicant's Signature _____

Date



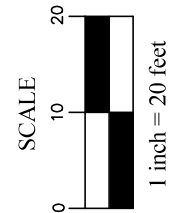
House/Garage	2,291
Cantilever	11
House	490
Garages	585
Bituminous Driveway	2,518
Rock	439
Concrete	44
Riprap	337
Pavers	533
Deck & Steps	70
Stoop & Steps	71
Retaining Wall	22
Total Hardcover	<u>7,004</u>

Lot Area	Hardcover	Percent
		(rip rap & deck/steps not included in lot area)
16,003		43.8%

Boundary Description (supplied by client)
 Lot 19; The East 25 feet of Lot 18, and That part of the
 adjoining abandoned boulevard dedicated in said plat which lies
 between the Southerly extensions of the East line of Lot 19 and
 the West line of the East 25 feet of said Lot 18, "The Bartlett
 Place" Upper Lake Minnetonka, Hennepin County, Minnesota.

Site Address:
5459 Bartlett Blvd
Mound, MN 5459

Benchmark:
Garage floor elevation of 5453 Bartlett Blvd.
Elevation = 935.5
(per Demars-Gabriel As-Built, 8-10-04)



Bearings based on assumed datum.

Certificate of Survey

Prepared for:

Lisa Thostenson

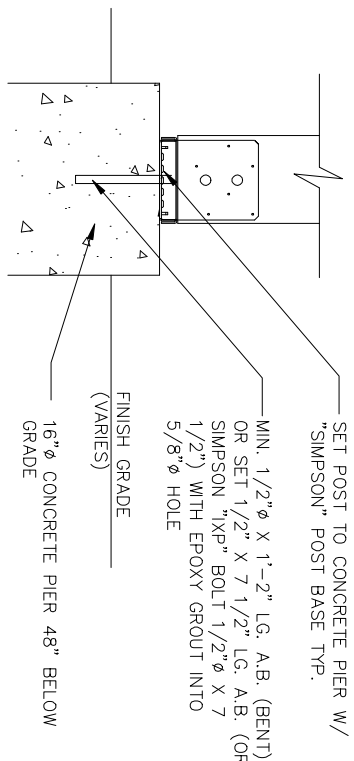
I hereby certify that this certificate of survey was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Kelly L. Brouwer
Kelly L. Brouwer

Date: October 6, 2025 Registration No. 48328

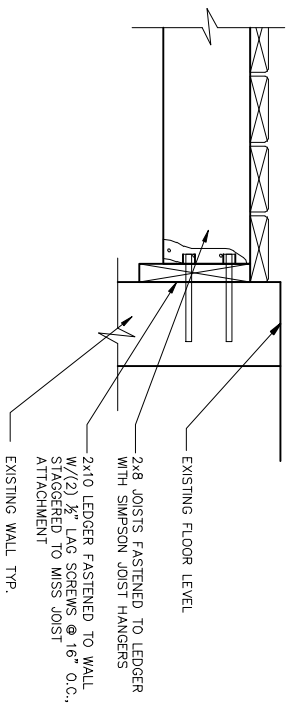
SCHOBOBG
LAND SERVICES
INC.

763-972-3221
www.SchoborgLand.com



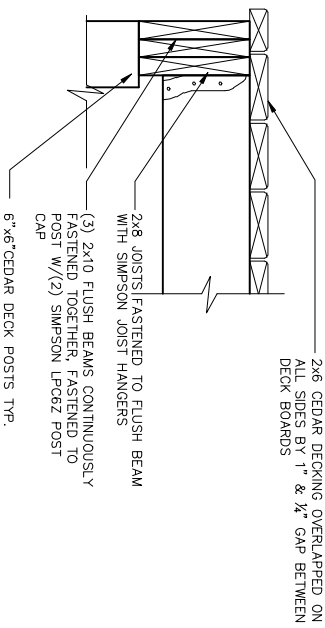
3 POST CONNECTION

SCALE: 1" = 1'-0"



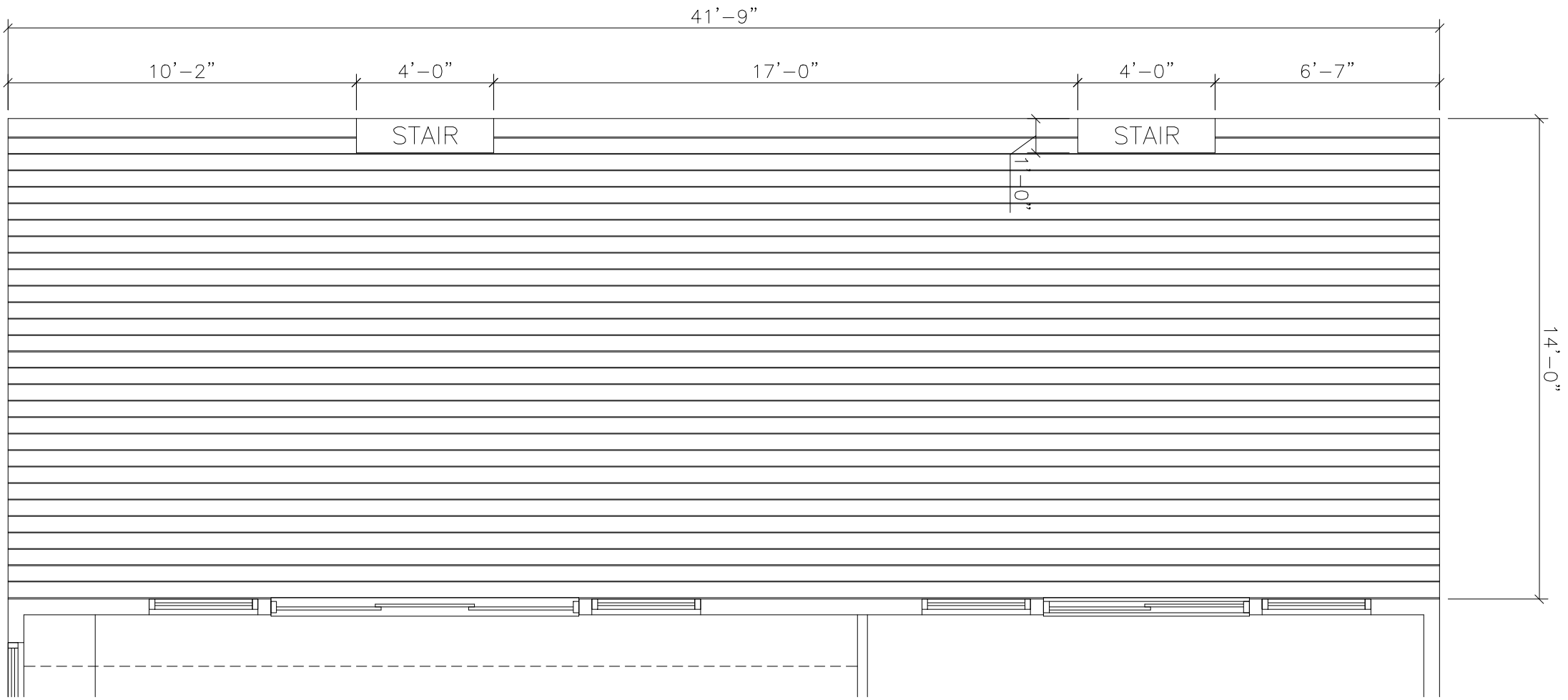
4 LEDGER/JOIST CONNECTION

SCALE: 3/4" = 1'-0"



5 FLUSH BEAM/END CONNECTION

SCALE: 3/4" = 1'-0"

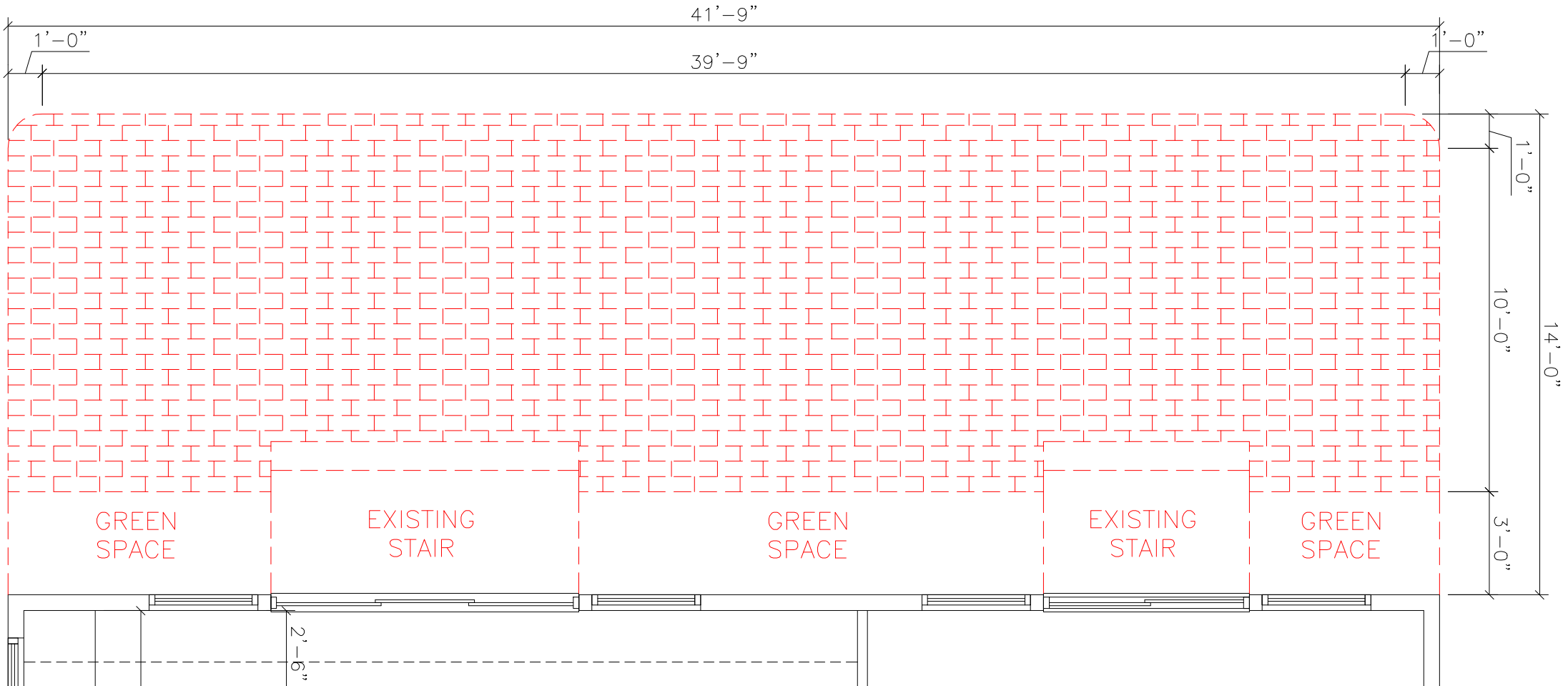


2x6 CEDAR DECK BOARDS W/ 1/2" MIN GAP BETWEEN EACH DECK BOARD, SCREWED TO 2x10 JOISTS W/ 3" SCREWS PER JOIST MIN., OR APPROVED EQ. FASTENING SYSTEM. SEE DETAILS 3-5 ON THIS SHEET FOR DETAILS. DECKING ON STAIR OMITTED FOR CLARITY

PROPOSED DECK AREA

SCALE: 1/4" = 1'-0"

2 V2



LANDSCAPING DEMO NOTES:
REMOVE EXISTING STAIRS, PAVERS AND LANDSCAPING

CURRENT CONDITIONS:
IMPERVIOUS PAVEMENT SQUARE FOOT-449.00
STAIR AREA SQUARE FOOT-59.26
PLASTIC LINED GREEN SPACE SQUARE FOOT-79.32
TOTAL SQUARE FOOT-578.78

IMPERVIOUS SURFACE REMOVAL

SCALE: 1/4" = 1'-0"

1 V1

DESIGN BY:
GATES DESIGNS
GREEN BAY, WI
920-246-3913

GENERAL CONTRACTOR:
LISA THOSTENSEN
-
-

DESIGN FOR:
THOSTENSEN RESIDENCE
5459 BARTLETT BLVD
MOUND, MN 55384

DECK DETAILS
SCALE:
AS NOTED

FINAL DATE:
PRELIM

REVIEW DATE:
9/28/2025
9/29/2025
10/13/2025

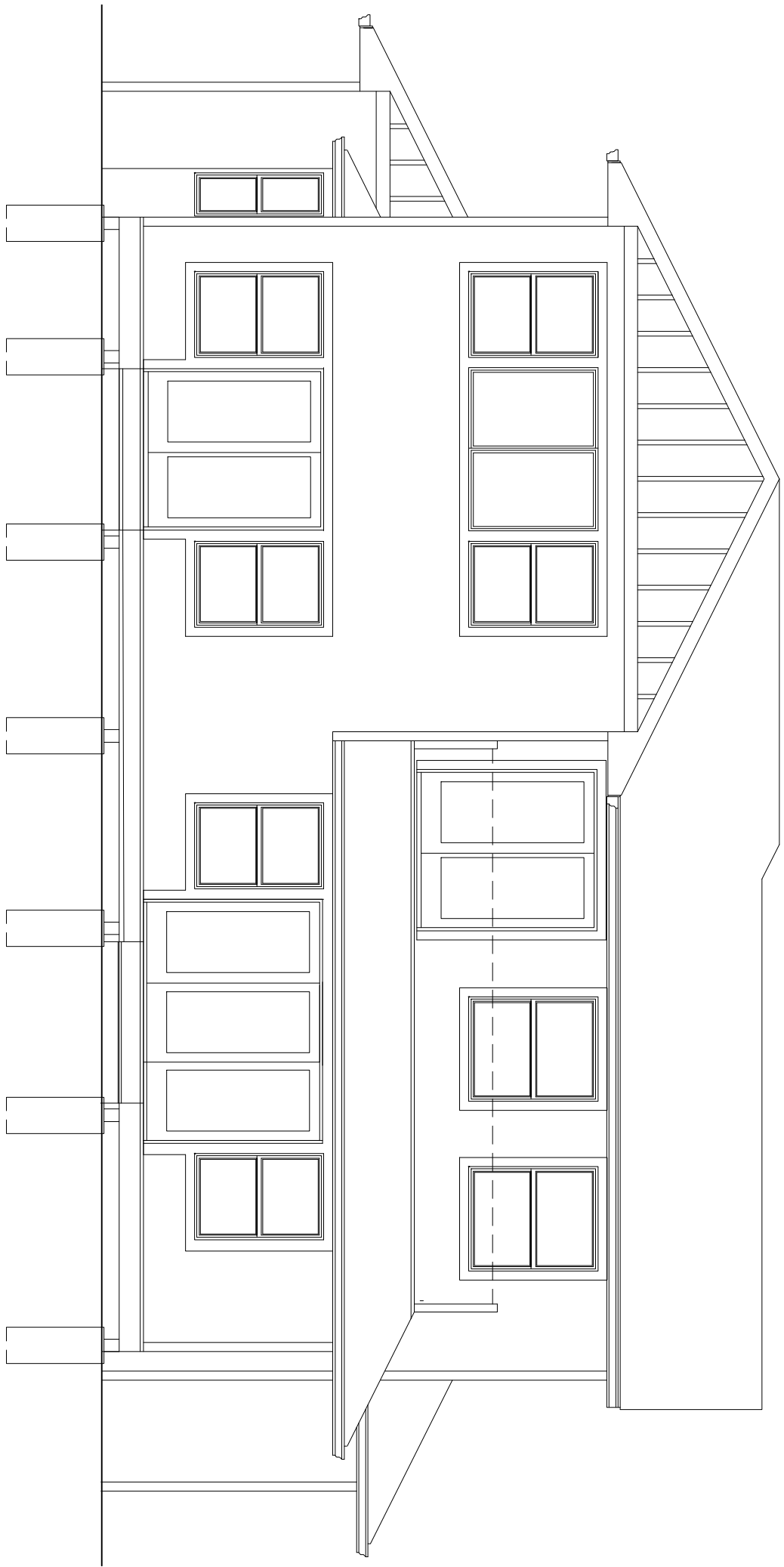
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PLAN #:
25-0915

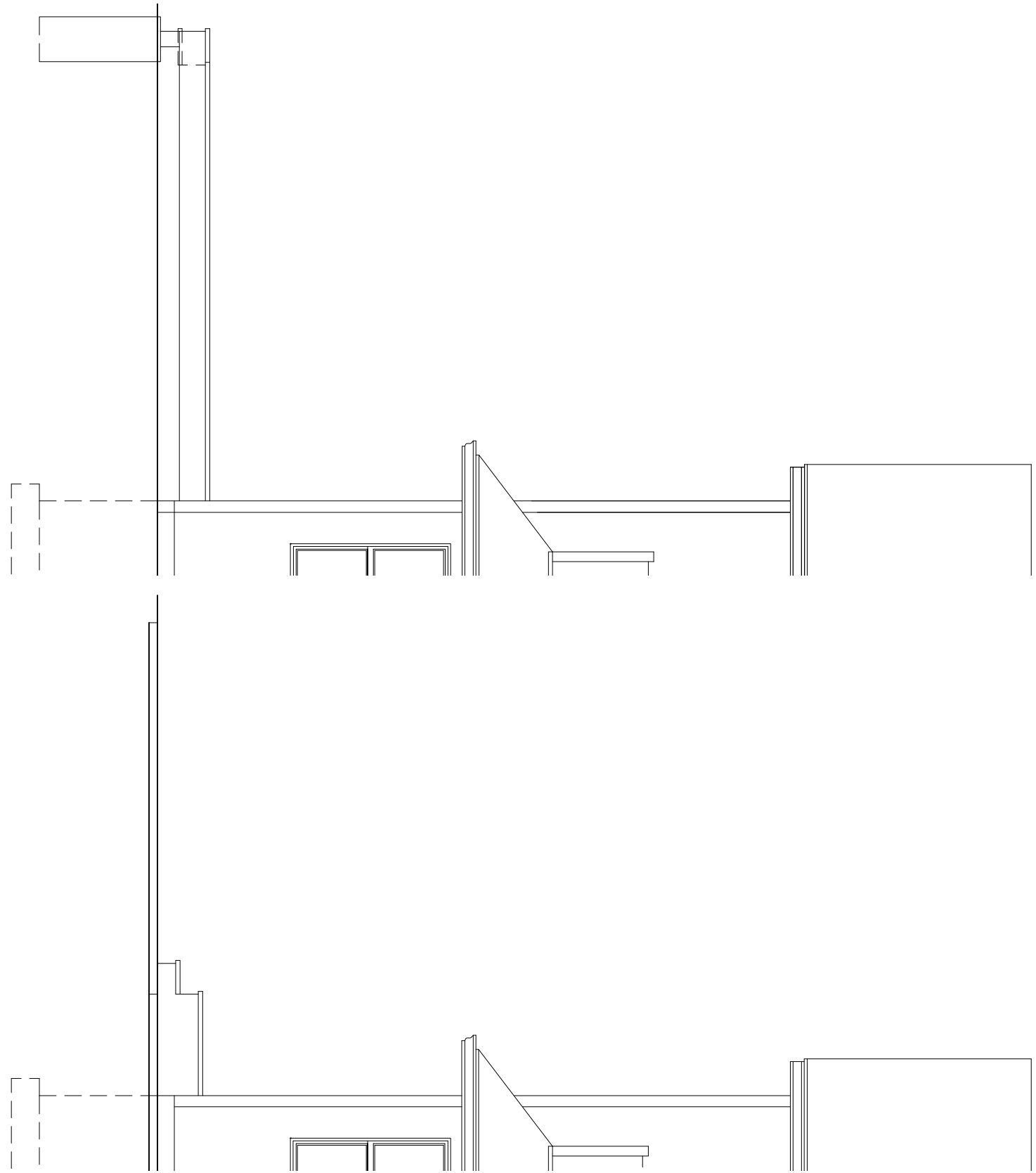
SHEET
V
OF 3 SHEETS



EXISTING REAR ELEVATION
SCALE: 3/8"=1'-0"
3
V2



PROPOSED REAR ELEVATION
SCALE: 3/8"=1'-0"
4
V2



PROPOSED SIDE ELEVATION
SCALE: 1/4"=1'-0"
2
V2

EXISTING SIDE ELEVATION
SCALE: 1/4"=1'-0"
1
V2

DESIGN BY: GATES DESIGNS GREEN BAY, WI 920-246-3913		GENERAL CONTRACTOR: LISA THOSTENSEN - -		DESIGN FOR: THOSTENSEN RESIDENCE 5459 BARTLETT BLVD MOUND, MN 55384		DECK ELEVATIONS SCALE: AS NOTED		FINAL DATE: PRELIM	REVISD DATE: 9/28/2025 9/29/2025 10/13/2025	PLAN #: 25-0915	9/15/25 V2 OF 3 9/15/25
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PLANNING REPORT

TO: Planning Commission
FROM: Rita Trapp and Mia Colloredo-Mansfeld, Consulting Planners
Sarah Smith, Community Development Director
SUBJECT: Review of Expansion Permit Request (Case No. 25-13)
APPLICANT: Erica Hway, Landschute on behalf of Timothy and Joan Kenny
LOCATION: 2971 Cambridge Lane (PID No. 24-117-24-42-0004)
MEETING DATE: November 18, 2025
COMPREHENSIVE PLAN: Low Density Residential
ZONING: R-1A Single Family Residential, Shoreland Overlay District

SUMMARY

The applicant, Erica Hway of Landschute, is requesting an Expansion Permit on behalf of Timothy and Joan Kenny for a new/replacement house project to be constructed predominately within the existing house footprint. The lakeshore lot is a 4,005 square foot lot of record located on the eastern side of Cooks Bay. The existing house has nonconforming setbacks and currently exceeds the 40 percent impervious surface allowance. The proposed house reconstruction will increase the footprint of the house from 1,351 square feet to 1,551 square feet. The proposed reconstruction will increase the house from a one-story house to a 2.5 story house, thus requiring an expansion permit. With the proposed reconstruction, impervious surface will continue to be nonconforming, however, use of permeable pavers will reduce the degree of nonconformity.

Additional changes between the existing and proposed house include removal of an accessory shed; the expansion of the garage to the south, shifting the southern edge of the house and the garage closer to the property line on the south; and the relocation of the steps to the water on the lakeshore side.

REVIEW PROCEDURE

Criteria

An expansion permit for a nonconforming structure may be issued, but is not mandated, to provide relief to the landowner where this chapter imposes practical difficulties to the property owner in the reasonable use of the land. In determining whether practical difficulties exist, the applicant must demonstrate that the following criteria exist:

1. The proposed expansion is a reasonable use of the property considering:
 - (a) Function and aesthetics of the expansion.
 - (b) Absence of adverse off-site impacts such as from traffic, noise, odors and dust.
 - (c) Adequacy of off-street parking.
2. Exceptional or extraordinary circumstances justifying the expansion are unique to the property and result from lot size or shape, topography, or other circumstances over which the owners of the property since enactment of this chapter have had no control.
3. The exceptional or extraordinary circumstances do not result from the actions of the applicant.
4. The expansion would not adversely affect or alter the essential character of the neighborhood.
5. The expansion requested is the minimum needed.

60-Day Land Use Application Review Process

Pursuant to Minnesota State Statutes Section 15.99, local government agencies are required to approve or deny land use requests within 60 days. Within the 60-day period, an automatic extension of no more than 60 days can be obtained by providing the applicant written notice containing the reason for the extension and specifying how much additional time is needed. For the purpose of Minnesota Statutes Section 15.99, "Day 1" is determined to be October 16, 2025 as provided by Minnesota Statutes Section 645.15. The review period can be extended by the City for an additional 60-days if needed. The 60-day timeline expires on or around December 14, 2025. The applicant and Planning Commission are advised that the City will be executing a 60 day extension for action on the expansion permit.

NOTIFICATION

Neighboring property owners of the subject site were mailed a letter on November 7, 2025 to inform them of the Planning Commission's review of the application at its November 18th special/rescheduled meeting.

STAFF / CONSULTANT / AGENCY / UTILITIES REVIEW

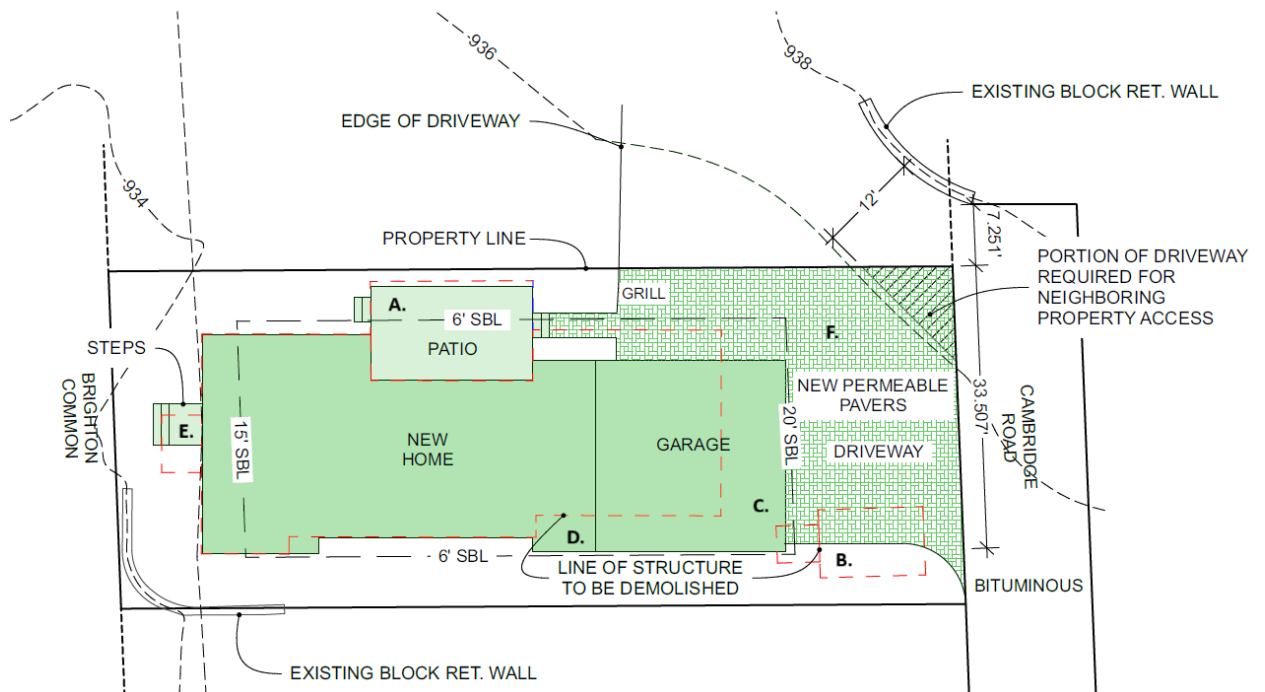
Copies of the request and supporting materials were forwarded to involved departments, consultants, agencies, and private utilities for review and comment. As of the preparation of the packet, no staff/consultant/agency comments have been received.

DISCUSSION

1. At 4,005 square feet, the property is under the minimum required lot area of 6,000 square feet for a lot of record in R1-A. The lot is adjacent to Brighton Commons so there is approximately 60 feet between the proposed structure and the ordinary high water level (OHWL).
2. The applicant is proposing a new house that maintains the nonconforming rear yard setback of 9.84 ft and the nonconforming deck setback of 1.4 ft in the north side yard. The proposed front and south side yard setbacks are conforming, as is the OHWL setback. Required setbacks, existing setbacks, and proposed new setbacks are listed in the table below.

Setback	Required	Existing	Proposed
Front yard	20 ft	27.75 ft	20.3 ft
Rear yard	15 ft	9.84 ft	9.84 ft
Side yard (south)	6 ft	6.36 ft	6.2 ft
Side yard (north)	6 ft	1.4 ft (deck); 7.5 building	1.4 (deck); 7.5 (building)
OHWL	50 ft	60.9 ft	60.9 ft

3. The proposed new house increases the footprint of the existing house from 1,351 square feet to 1,551 square feet. The areas where the footprint of the proposed house is larger than the existing house are all conforming. Additional changes between the existing and proposed house include:
 - A. Reconstructing the patio on the northern side of the house. The patio is slightly smaller, but still nonconforming, thus requiring an expansion permit.
 - B. Removal of an accessory shed in the southeast corner.
 - C. The expansion of the garage to the south and east.
 - D. Shifting the southern edge of the house and the garage closer to the property line on the south.
 - E. The relocation of the steps on the rear of the house on the lakeshore side.
 - F. Replacing driveway with permeable pavers.



4. The proposed house will also increase in height, from one story to 2.5 stories. As the rear wall of the house has a nonconforming setback, the addition of a second story at this setback is considered a fill-in expansion and requires an expansion permit. Applicant information is that the approximate building height is 31 feet for the new/replacement but has not been verified.
5. Access to the adjacent property to the north requires use of a portion of the driveway located in the northeast corner of the property as Cambridge Lane ends just north of this property. This requires pavement, permeable pavers, or other suitable driveway surfacing in order to facilitate access to the adjacent property. Due to the required access, reducing the driveway area for the property to align with the garage entrance is not realistic.
6. Impervious surface coverage on the current lot is 64.69%. The maximum impervious surface for a lot of record is 40%. The applicant is proposing to use permeable pavers on the driveway resulting in a new impervious surface coverage of 48.31%. While this is still nonconforming, it significantly reduces the nonconformity. As noted above, a portion of the driveway serves the property to the north.

7. Yard Encroachments

- A. The proposed house has a bay window on the rear wall of the second story. Per Sec. 129-197, bay windows do not count as encroachments to yard requirements, “provided the encroachment within the yard area does not exceed eight square feet and provided the setback of the principal wall conforms to district setback requirements.”

Due to the existing nonconforming rear yard setback, the principal wall is determined to be the existing setback of 9.84 feet. Based on the submitted survey, the bay window has an area of approximately 11.4 square feet, which exceeds the allowed encroachment. The applicant should decrease the size of the bay window to meet requirements.

- B. The site plan shows the A/C and generator units located on the exterior of the south side of the proposed house. Per City Code Sec. 129-197, mechanical equipment cannot extend more than two feet into the required yard area. Mechanical equipment may also count towards hardcover.
- C. The proposed stairs shown on the rear of the house is an allowed encroachment per City Code Sec. 129-197 which reads as follows:

“Uncovered porches, stoops or similar entrance structures not exceeding 32 square feet which do not extend in elevation above the height of the ground floor elevation of the principal building, and steps that do not extend to a distance of less than two feet from any lot line.”

- D. Eaves are allowed to encroach into setbacks by 2 feet. Any eave portion exceed 2 feet counts towards hardcover unless there is hardcover underneath.
-
- 8. Per code, all new construction is required to be at or over the Regulatory Flood Protection Elevation of 933.0 for Lake Minnetonka. The survey shows a basement floor elevation of 934.73 which meets the required minimum elevation. The plans also show an elevator/elevator pit. Applicant is advised there there may be building code and/or floodproofing requirements that apply.

9. Construction parking, staging, delivery and storage of materials, and related construction activities need to be coordinated with the Public Works Department for the proposed new/replacement house project to ensure the road remains clear during construction to provide access and road safety. Applicant is requested to contact Public Works Director Ryan Prich to discuss parking/equipment/materials staging plans for the project and the City's on street parking regulations and seasonal parking restrictions.

RECOMMENDATION

Staff recommends that the Planning Commission recommend City Council approval of the Expansion Permit for the house remodel/additions project subject to the following list of conditions:

1. The bay window shall be modified so as to qualify as an encroachment allowance per City Code Sec. 129-197.
2. Any eave not meeting the 2 foot encroachment allowance shall be modified in accordance with City Code Sec. 129-197.
3. The applicant shall ensure the A/C units and generator do not extend more than two feet into the required yard area.
3. The applicant shall work with the City as part of permitting to ensure that construction parking, staging, and delivery of materials is addressed in a manner which ensures access and road safety.
4. The applicant shall be responsible for recording the resolution with Hennepin County unless the applicant requests the City file the resolution with the recording fees to be paid by the escrow. The applicant is advised that the resolution will not be released for recording until all fees for the variance application have been paid and the escrow account is in good standing.
5. Applicant shall be responsible for procurement of any and/or all public agency permits including the submittal of all required information prior to building permit issuance.
6. Additional conditions from Staff, the Planning Commission, and City Council.

In recommending approval of the expansion permit, Staff offers the following findings:

1. The criteria of City Code Section 129-41 Expansion Permit are being met.

2. The existing building nonconformities on the site were there prior to the applicant's acquisition of the property.
3. The proposed expansion is a reasonable use of the property. The expansion will be in keeping with the character and aesthetics of the area.
4. The proposed expansion allows for the continued use of the property as a single-family home in a manner that does not create any additional adverse impacts to the area.
5. This expansion would not increase the degree of nonconformity, only the intensity of the use of the lot in order to increase the living area of the house.

CITY COUNCIL REVIEW

In the event a recommendation is received from the Planning Commission, it is anticipated that the expansion permit request will be considered by the City Council at its December 9, 2025 meeting at 6:00 p.m.



2415 Wilshire Boulevard, Mound, MN 553
Phone 952-472-0600 FAX 952-472-0620

EXPANSION PERMIT APPLICATION

OCT 15 2025

Application Fee and Escrow Deposit required at time of application.

Case No. _____

Please type or print legibly

SUBJECT PROPERTY LEGAL DESC.	Address <u>2971 Cambridge Lane</u> Lot <u>11</u> Block <u>33</u> Subdivision <u>Wychwood</u> PID # <u>2411724420004</u> Zoning: R1 <u>(R1A)</u> R2 R3 B1 B2 B3 (Circle one)
PROPERTY OWNER	Name <u>Timothy M. & Joan C. Kenny</u> Ema _____ Address <u>768 Osceola Avenue, St. Paul, MN 55105</u> Phone Home _____ 1 Wor _____ Fax _____
APPLICANT (IF OTHER THAN OWNER)	Name <u>Landschute/Erica Hway</u> Email <u>erica@landschute.com</u> Address <u>202 Water Street Suite 202, Excelsior, MN 55331</u> Phone Home _____ Work <u>952.401.7671</u> Fax _____

1. Has an application ever been made for zoning, variance, conditional use permit, or other zoning procedure for this property? Yes () No ☒. If yes, list date(s) of application, action taken, resolution number(s) and provide copies of resolutions.

2. Detailed description of proposed construction or alteration (size, number of stories, type of use, etc.):
new 2.5-story single-family residence, 1,551 sq. ft. footprint, 3,614 sq. ft. total finished area, home to be
constructed predominantly on existing footprint

Case No. _____

3. Please complete the following information related to the property and building's conformity with the zoning regulations for the district in which it is located including the expansion permit request.

SETBACKS:	REQUIRED	REQUESTED (or existing)	EXPANSION
Front Yard: (N S <u>E</u> W)	<u>20</u> ft.	<u>20.3</u> ft.	<u>7.5</u> ft.
Side Yard: (<u>N</u> S E W)	<u>6</u> ft.	<u>7.5</u> ft.	<u>0</u> ft.
Side Yard: (N <u>S</u> E W)	<u>6</u> ft.	<u>6.2</u> ft.	<u>0.2</u> ft.
Rear Yard: (N S E <u>W</u>)	<u>15</u> ft.	<u>9.9</u> ft.	<u>0</u> ft.
Lakeside: (N S E W)	_____ ft.	_____ ft.	_____ ft.
_____ : (N S E W)	_____ ft.	_____ ft.	_____ ft.
Street Frontage:	<u>40</u> ft.	<u>40</u> ft.	<u>0</u> ft.
Lot Size:	<u>6,000</u> sq ft	<u>4,005</u> sq ft	<u>0</u> sq ft
Hardcover:	<u>1,602</u> sq ft	<u>2,720</u> sq ft	<u>0 (w/ pavers)</u> sq ft

4. Does the present use of the property conform to all regulations for the zoning district in which it is located? Yes (), No ☒. If no, specify each non-conformity:

rear yard setback (existing = 9.84'), deck setback (existing = 1.4'),

hardcover (existing = 2,591 sq ft/64.69%)

5. Are there exceptional or extraordinary circumstances justifying the expansion unique to the property such as lot size or shape, topography or other circumstances over which the owners of the property since enactment of this chapter have no control? Please check all that apply:

☐ too narrow ☒ topography ☐ soil
☒ too small ☐ drainage ☒ existing situation
☐ too shallow ☐ shape ☐ other: specify

Please describe: The property is 4,005 sq. ft., which is significantly below the 6,000 sq. ft.

minimum for lots of record in R1-A. In addition, due to the low elevation of the property, a

lower level is not possible.

Case No. _____

6. Were the exceptional or extraordinary circumstances described above created by the action of anyone having property interests in the land after the zoning ordinance was adopted (1982)? Yes (), No ☒. If yes, explain:

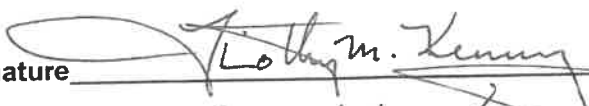
7. Were the exceptional or extraordinary circumstances created by any other person-made change, such as the relocation of a road? Yes (), No ☒. If yes, explain:

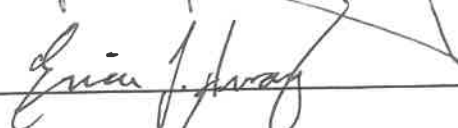
8. Are the exceptional or extraordinary circumstances for which you request an expansion permit peculiar only to the property described in this petition? Yes (), No ☒. If no, list some other properties which are similarly affected?

4994 Manchester road

9. Comments: This adjacent property has a small lot size of 4,696 sq. ft., which is 691 sq. ft more
than the subject property of this application. It also has a similarly low elevation.

I certify that all of the above statements and the statements contained in any required papers or plans to be submitted herewith are true and accurate. I acknowledge that I have read all of the variance information provided. I consent to the entry in or upon the premises described in this application by any authorized official of the City of Mound for the purpose of inspecting, or of posting, maintaining and removing such notices as may be required by law.

Owner's Signature  Date 15 October 2025

Applicant's Signature  Date 15 October 2025

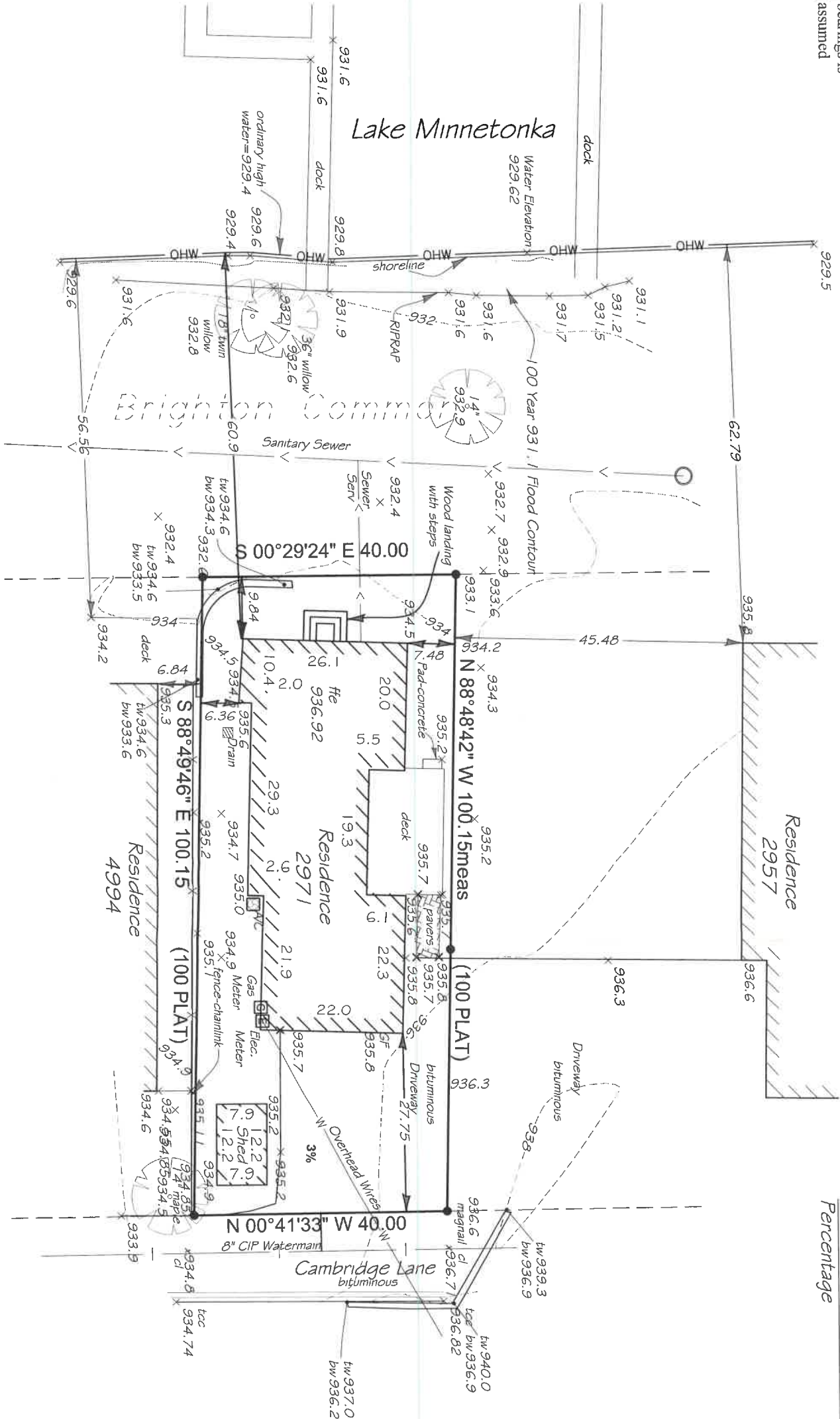
Surveyors Certificate
Existing Conditions Survey For:

City Benchmark: Benchmark No. 2012-12 top nut of hydrant
west side of Cambridge Lane opposite house No. 2927
Elevation = 962.38 feet NGVD 29

Site Benchmark: Original 1st Floor Elevation = 936.92 feet

100 Year Flood Elevation = 931.1 feet
Per FEMA Map No. 27053C0292F, effective date 11/4/2016

Basis for
bearings is
assumed



Existing-Hardcover	
Lot Area	4,005 sq ft
Building	1,351 sq ft
Deck w/ Steps	32 sq ft
Pad-Concrete	4 sq ft
Deck	228 sq ft
Walk-Pavers	37 sq ft
Shed	97 sq ft
Driveway-Bit	842 sq ft
Total	2,591 sq ft
Percentage	64.69%

- Denotes Found Iron Monument
- Denotes Iron Monument
- Denotes Wood Hub Set for excavation only
- ~ Denotes Existing Contours
- ~ Denotes Proposed Contours
- ×000.0 Denotes Existing Elevation
- 000.0 Denotes Proposed Elevation
- Denotes Surface Drainage

Property Zoned as 'R-1A'
Building Setback Requirements
Front - 20 feet
Side - 6 feet
Rear - 6 feet
Note: Refer to City Code additional requirements or exceptions.

NOTE: The only easements shown are from plats of record or information provided by client.

Legal Description
Lot 11, Block 33, WYCHWOOD
Hennepin County, Minnesota

DEMARC
LAND SURVEYING & ENGINEERING
7601 73rd Avenue North
Minneapolis, Minnesota 55428
(763) 560-3093
Demarcinc.com

Project No. 91071 Scale: 1" = 20'

F.B.No. - Drawn By JH

Address: 2971 Cambridge Lane
Mound, MN, 55364
rev 10-15-25 city req.

I certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
Surveyed this 10th day of June 2025.

Signed
Gregory R. Prasch, Minn. Reg. No. 24992

Survivors Certificate Existing Conditions Survey Form

LANDSCHUTTE GROUP

Property located in Section 24, Township 117, Range 24 Hennepin County, Minnesota

City Benchmark: Benchmark No. 2012-12 top nut of hydrant
west side of Cambridge Lane opposite house No. 2925
Elevation = 962.38 feet NGVD 29

Site Benchmark: Original 1st Floor Elevation = 936.92 feet

100 Year Flood Elevation = 931.1 feet

Per FEMA Map No. 27053C0292F, effective date 11/4/2016

Basis for bearings i assumed

Existing-Hardcover	
Lot Area	4,005 sq ft
Building	1,351 sq ft
Deck w/ Steps	32 sq ft
Pad-Concrete	4 sq ft
Deck	228 sq ft
Walk-Pavers	37 sq ft
Shed	97 sq ft
Driveway-Bit	842 sq ft
Total	2,591 sq ft
Percentage	64.69%

- Denotes Found Iron Monument
- Denotes Iron Monument
- ☐ Denotes Wood Hub Set for excavation only
- ~~~~~ Denotes Existing Contours
- ~~~~~ Denotes Proposed Contours
- x000.0 Denotes Existing Elevation
- ooo.0 Denotes Proposed Elevation
- ▲ Denotes Surface Drainage

Property Zoned as 'R-1A'
Building Setback Requirements
 Front - 20 feet
 Side - 6 feet
 Rear - 6 feet

Note: Refer to City Code additional requirements or exceptions.

NOTE: The only easements shown are from plats of record or information provided by client.

Legal Description
Lot 11, Block 33, WYCHWOOD
Hennepin County, Minnesota

DEMARC
LAND SURVEYING & ENGINEERING
7601 73rd Avenue North
Minneapolis, Minnesota 55428
(763) 560-3093
Demarkinc.com

Project No. 91071 Scale: 1" = 20'

F.B.No.	-	Drawn By	AK
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Address: 2971 Cambridge Lane
Mound, MN, 55364

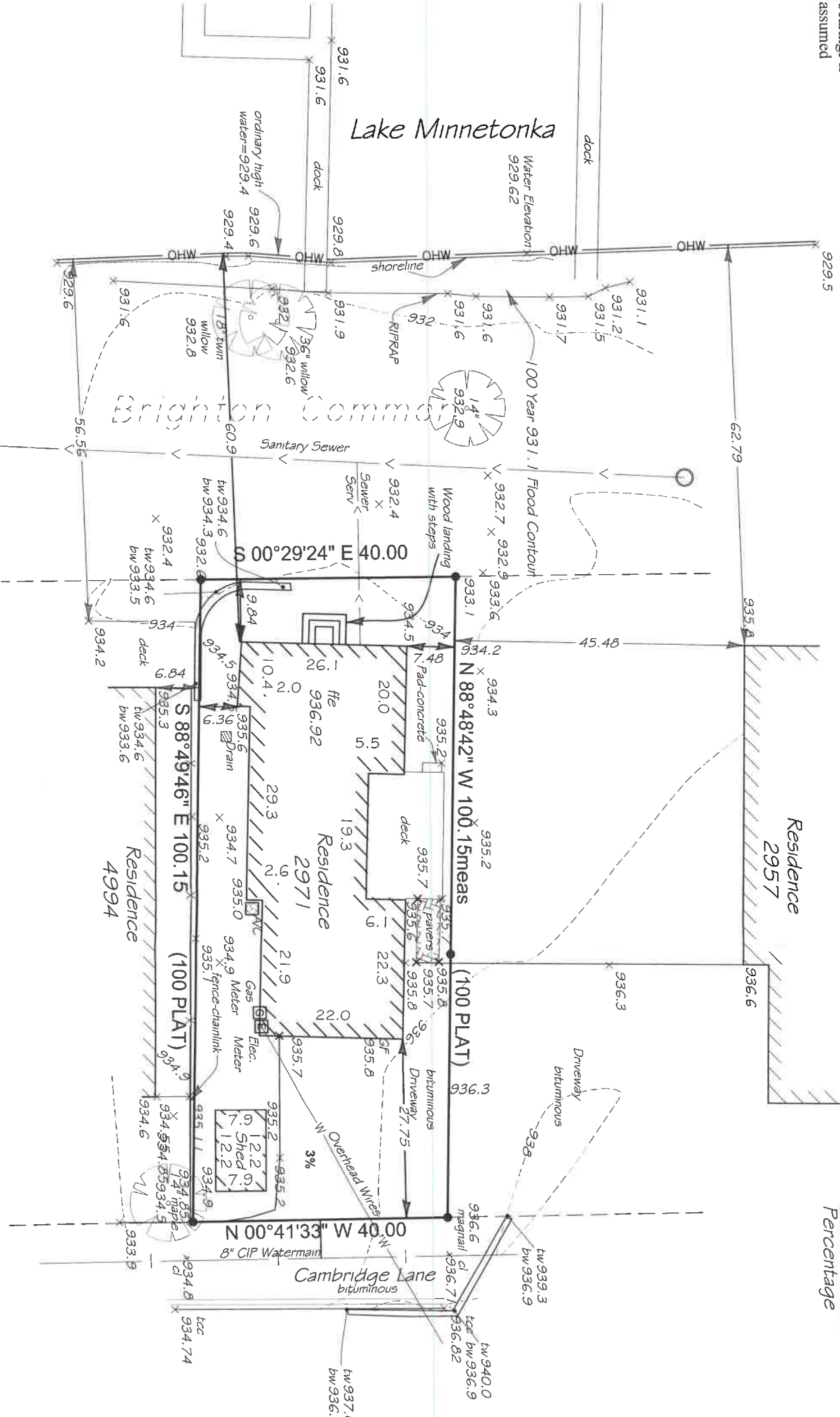
rev 10-15-25 city req.

I certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Surveyed this 10th day of June 2025.

Signed

Gregory R. Prasch, Minn. Reg. No. 24992



Property Zoned as 'R-1A'
Building Setback Requirements
Front - 20 feet
Side - 6 feet
Rear - 6 feet
Note: Refer to City Code additional requirements or exceptions.

Basis for bearings is assumed

City Benchmark: Benchmark No. 2012-12 top nut of hydrant west side of Cambridge Lane opposite house No. 2927
Elevation = 962.38 feet NGVD 29

Site Benchmark: Original 1st Floor Elevation = 936.92 feet

100 Year Flood Elevation = 931.1 feet
Per FEMA Map No. 27053C0292F, effective date 11/4/2016

Average elevation at lot lines opposite building corner = 935.0

Site Plan Survey For: LANDSCHUTE GROUP

Property located in Section 24, Township 117, Range 24, Hennepin County, Minnesota

Surveyors Certificate

Proposed Impervious Surface	
Lot Area	4,005 sq ft
Building	1,551 sq ft
Deck	208 sq ft
steps	23 sq ft
steps	7 sq ft
steps	7 sq ft
Pavers	924 sq ft
Total	2,720 sq ft
Percentage	67.92%
Alternate Hardcover with Permeable Pavers	
Lot Area	4,005 sq ft
Building	1,551 sq ft
Deck	208 sq ft
steps	23 sq ft
steps	7 sq ft
steps	7 sq ft
Permeable Pavers	139 sq ft
Total	1,935 sq ft
Percentage	48.31%

- Denotes Found Iron Monument
- Denotes Iron Monument
- Denotes Wood Hub Set for excavation only
- Denotes Existing Contours
- Denotes Proposed Contours
- Denotes Existing Elevation
- Denotes Proposed Elevation
- Denotes Surface Drainage

936.92	Proposed First Floor
935.73	Proposed Garage Floor
934.73	Proposed Basement Floor
Type of Building	
Slab on Grade	

NOTE: Proposed grades are subject to results of soil tests. Proposed building information must be checked with approved building plan and development or grading plan before excavation and construction. Proposed grades shown on this survey are interpolations of proposed contours from the drainage, grading and/or development plans.

NOTE: The relationship between proposed floor elevations to be verified by builder.

NOTE: The only easements shown are from plats of record or information provided by client.

Legal Description

Lot 11, Block 33, WYCHWOOD
Hennepin County, Minnesota

DEMARC

LAND SURVEYING & ENGINEERING
7601 73rd Avenue North (763) 560-3093
Minneapolis, Minnesota 55428 Demarcinc.com

Project No. 91071 Scale: 1" = 20'

F.B.No. -

Drawn By

Address: 2971 Cambridge Lane
Mound, MN, 55364

rev 10-15-25 city req.

I certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
Prepared this 6th day of October 2025.

Signed

Gregory R. Frasch, Mfn. Reg. No. 24992



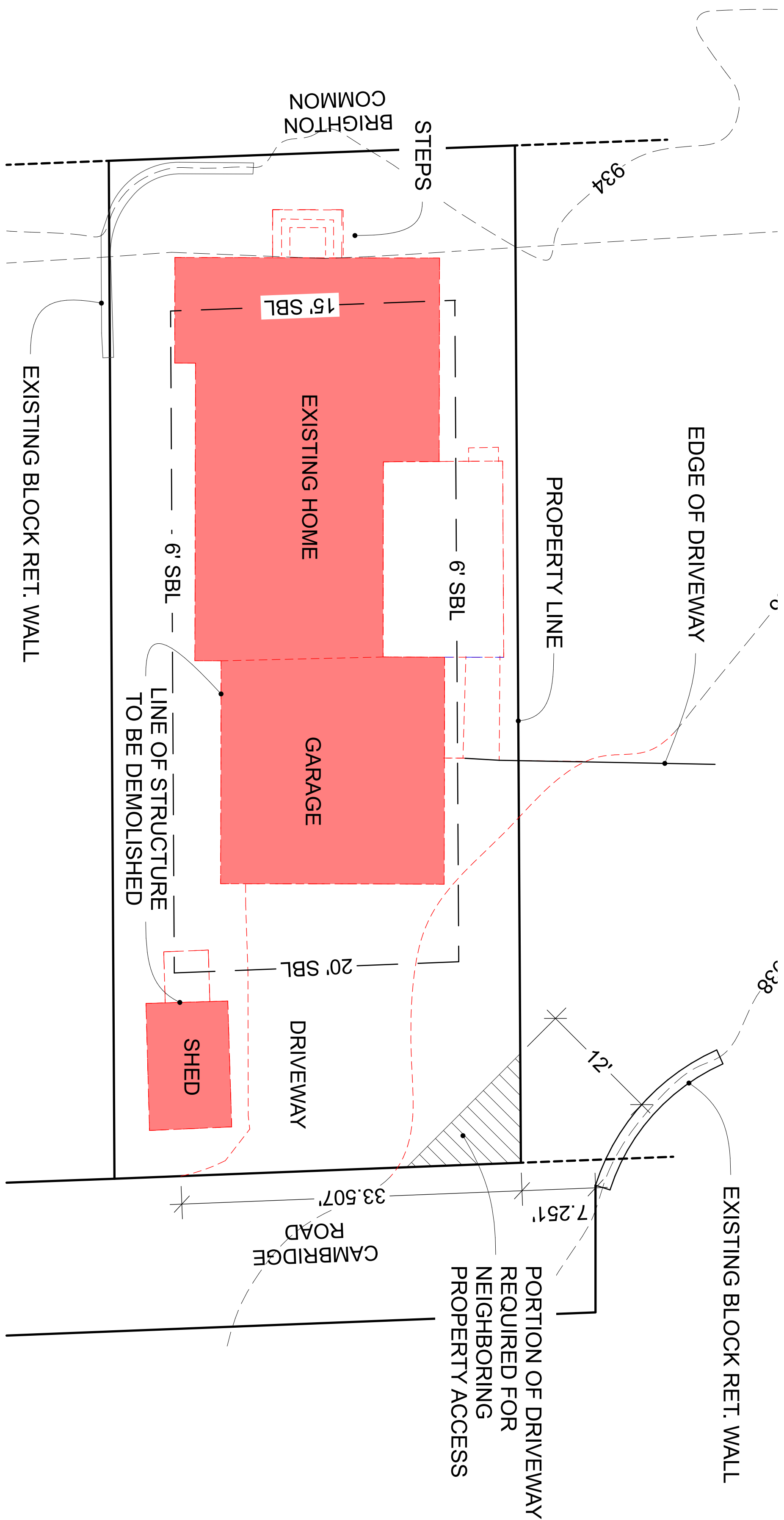
1 Exterior Perspective

NOT TO SCALE

Location Map

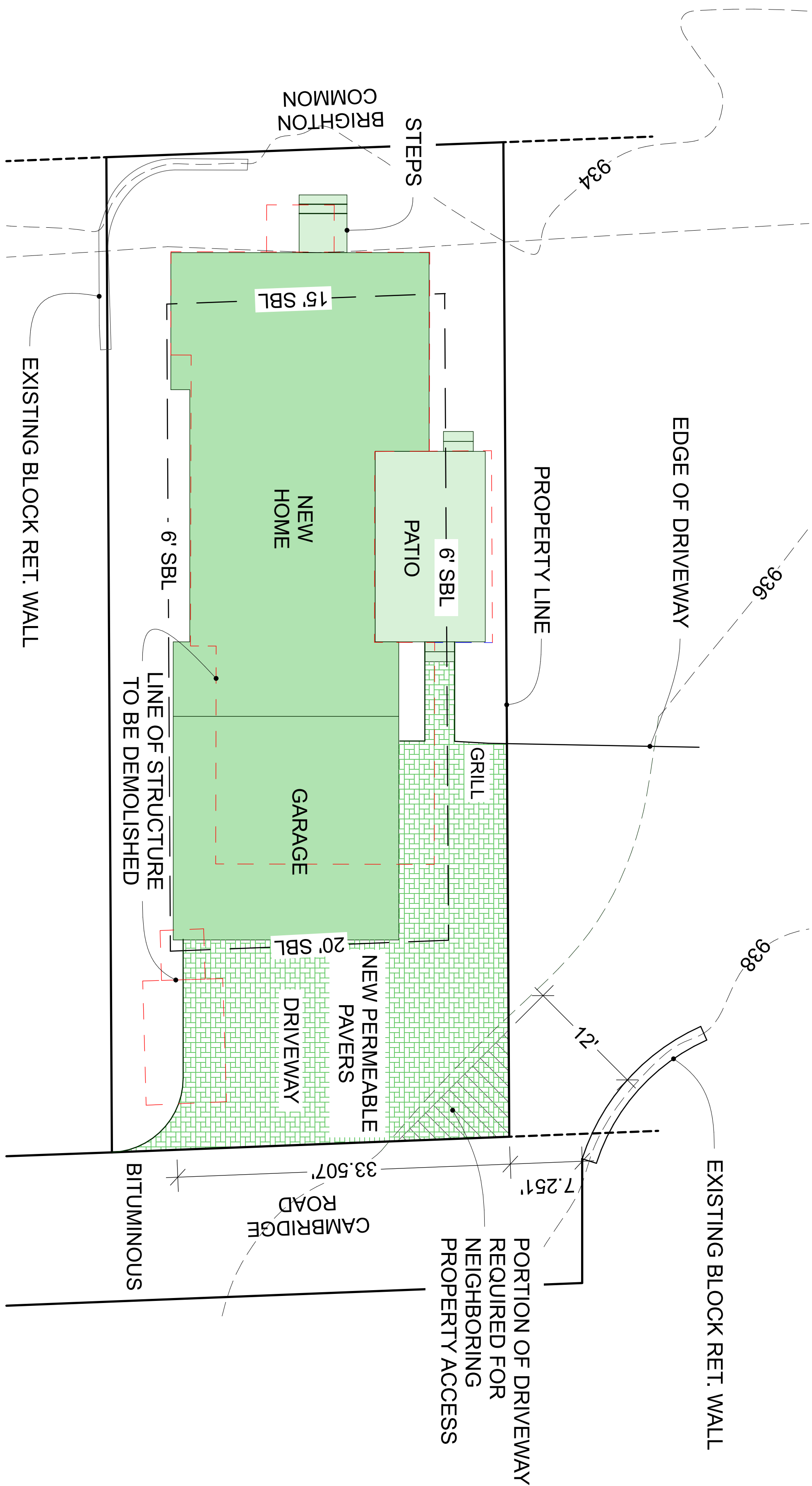
SCALE: 1" = 50'

[illegible]



1 Site Plan - Demolition

SCALE: 1/8" = 1'-0"



2 Site Plan - Proposed New Construction

SCALE: 1/8" = 1'-0"



RENOVATION PLAN LEGEND	ARCHITECT & BUILDER
EXISTING TO BE RETAINED TO BE DEMOLISHED NEW CONSTRUCTION	© 2025 LANDSCHUTTE • Architects • Builders • Designers • Real Estate • 202 Water St. #202 Excelsior, MN 55331 (952) 470-7416 Builder License: BC002303

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**KENNY
RESIDENCE**

Cottage Rebuild

CLIENT NAME

Tim & Joan Kenny

PROJECT ADDRESS

2971 Cambridge Lane
Mound, MN 55364

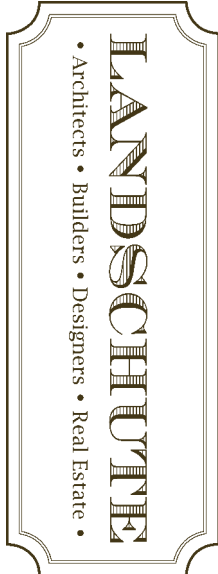
PRINTED DATE: 10/15/25 DRAWN BY: ELH	
ISSUE HISTORY	
ISSUE	ISSUED FOR
E01	Submission - Expansion Permit

[illegible]

FRONT SETBACK:	20 FT		
SIDE YARD SETBACK:	6 FT*		
REAR YARD SETBACK:	16 FT		
IMPERVIOUS SURFACE:	40%*		
BUILDING HEIGHT:	2 1/2 STORY & 36 FT		
*INDICATES REQUIREMENT FOR LOTS OF RECORD			

SITE NOTES	

1.	Erosion control shall be installed in accordance with requirements of AHJ.	
2.	Tree removal and replacement to be conducted in accordance with requirements of AHJ.	
3.	Shoring shall be provided as necessary based on site conditions.	
4.	Grading contours indicated on site plan are to be verified by surveyor. Refer to proposed certificate of survey for proposed conditions of survey for proposed site grading and retaining wall locations.	
5.	Grading and nail material and detailing to be determined at time of installation. Retaining wall height is not to exceed 4 feet unless engineering is provided.	
6.	Site stabilization to be 6" sod.	
7.	Slope final grade from foundation at minimum 2% slope.	
8.	New plantings to be determined at time of installation.	
9.	Driveway and sidewalk materials to be determined at time of installation.	
SCALE AS INDICATED SHEET NAME Architectural Site Plan A0.02		



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Excelsior, MN 55331
(952) 470-7416
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PROJECT

KENNY
RESIDENCE

Cottage Rebuild

CLIENT NAME

Tim & Joan Kenny

PROJECT ADDRESS

2971 Cambridge Lane
Mound, MN 55364

PRINTED DATE: 10/15/25

DRAWN BY: ELH

ISSUE HISTORY

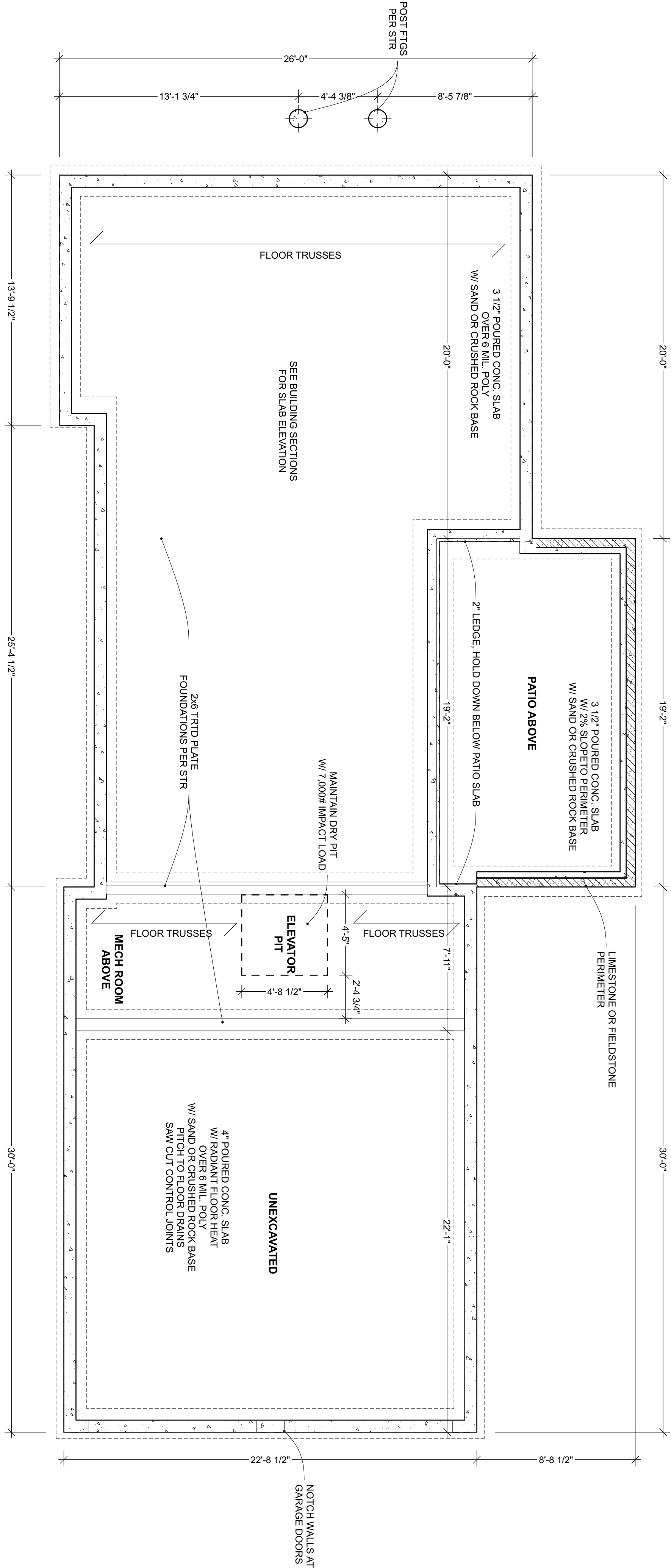
ISSUE	DATE	ISSUED FOR
E01	10/15/25	Submission - Expansion Permit

CURRENT REVISIONS

REV	DESCRIPTION
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FOUNDATION PLAN NOTES

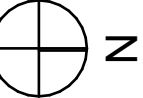
- Elevations of TOW and BCF are indicated on the Foundation Plan but are subject to field verification. Consult with Landschulte if any discrepancies are discovered.
- Top of all concrete foundation walls to be at minimum 6" and at most 12" above finished grade as indicated on the survey.
- Top of masonry ledges to be 6" below finished grade as indicated on survey.
- Pitch poured stoops and porch slab away from structure 1/4" per foot minimum.
- Structural details for foundation walls and strip footings to be provided by Subcontractor.



Foundation Plan

1

SCALE: 1/4" = 1'-0"





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Excelsior, MN 55331
(952) 470-7416
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PROJECT

KENNY RESIDENCE

Cottage Rebuild

CLIENT NAME

Tim & Joan Kenny

PROJECT ADDRESS

2971 Cambridge Lane
Mound, MN 55364

PRINTED DATE: 10/15/25

DRAWN BY: ELH

ISSUE HISTORY

ISSUE	DATE	ISSUED FOR
E01	10/15/25	Submission - Expansion Permit

CURRENT REVISIONS

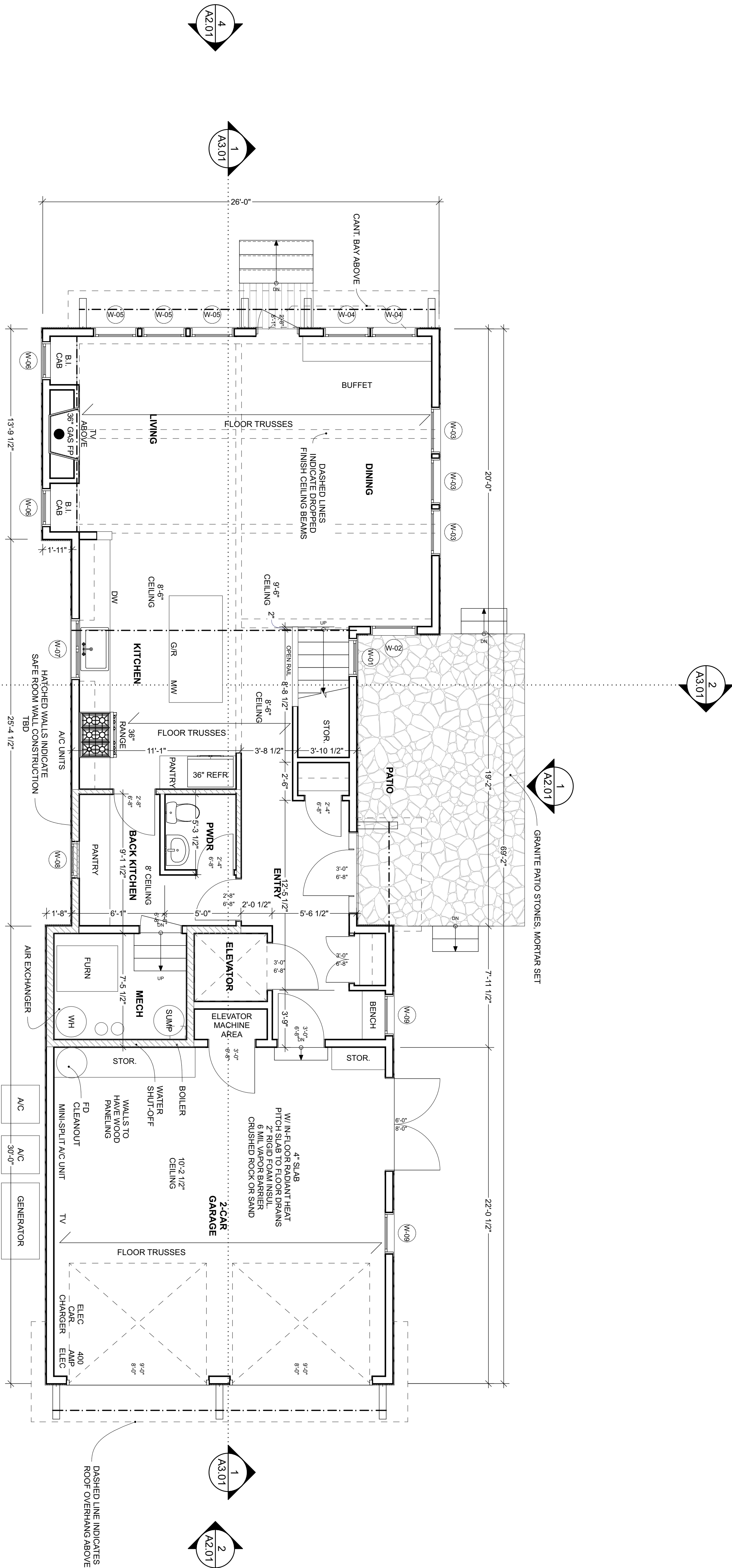
REV	DESCRIPTION
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FD

SHEET NAME

Main Level Plan

A1.02



Main Level Plan

SCALE: 1/4" = 1'-0"





Builder License: BC01

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PROJECT

**KENNY
RESIDENCE**

Cottage Rebuild

CLIENT NAME
Tim & Joan Kenny

PROJECT ADDRESS
2971 Cambridge Lane
Mound, MN 55364

PRINTED DATE: 10/15/2

DRAWN BY: ELH

ISSUE HISTORY

ISSUE	DATE	ISSUED FOR
E01	10/15/25	Submission - Expansion Permit

REV	DESCRIPTION
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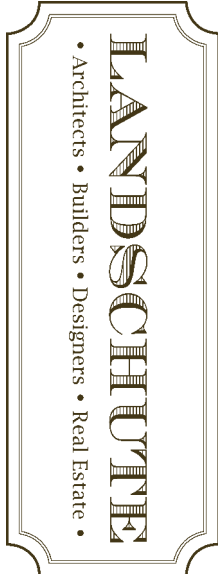
Attic Pla

A1.04

ROOF AREA	
Top Surface	Area
Roof - Asphalt	2,731

ARCHITECT & BUILDER

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PROJECT

KENNY
RESIDENCE
Cottage Rebuild

CLIENT NAME
Tim & Joan Kenny

PROJECT ADDRESS
2971 Cambridge Lane
Mound, MN 55364

PRINTED DATE: 10/15/25

DRAWN BY: ELH

ISSUE HISTORY

ISSUE	DATE	ISSUED FOR
EP1	10/15/25	Submission - Expansion Permit

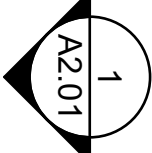
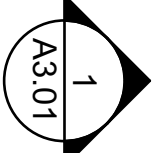
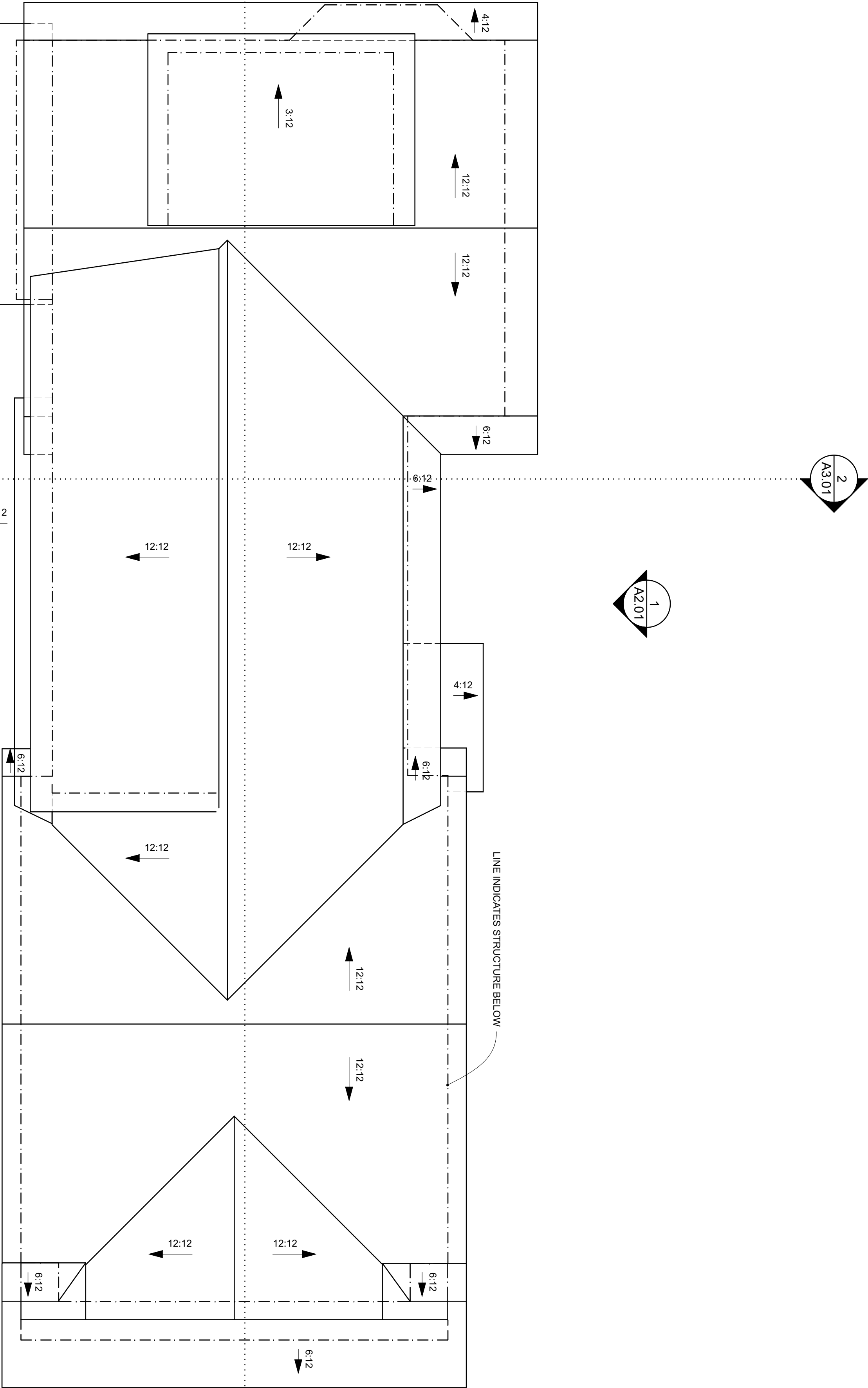
CURRENT REVISIONS

REV	DESCRIPTION
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SCALE AS INDICATED

SHEET NAME
Roof Plan

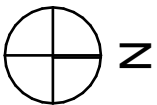
A1.05



2

Roof Plan

SCALE: 1/4" = 1'-0"



ROOF PLAN NOTES

1. All nominally flat roof-to-wall conditions, adhere EPDM to wall sheathing and extend up wall 2'-0" beneath siding.
2. Penetrations to be flashed per manufacturer requirements. Finish of flashing and drop edge to be determined at time of installation.
3. Roof single material and exposure to be determined at time of installation.
4. Gutter locations and selections to be determined at time of installation.
- 5.



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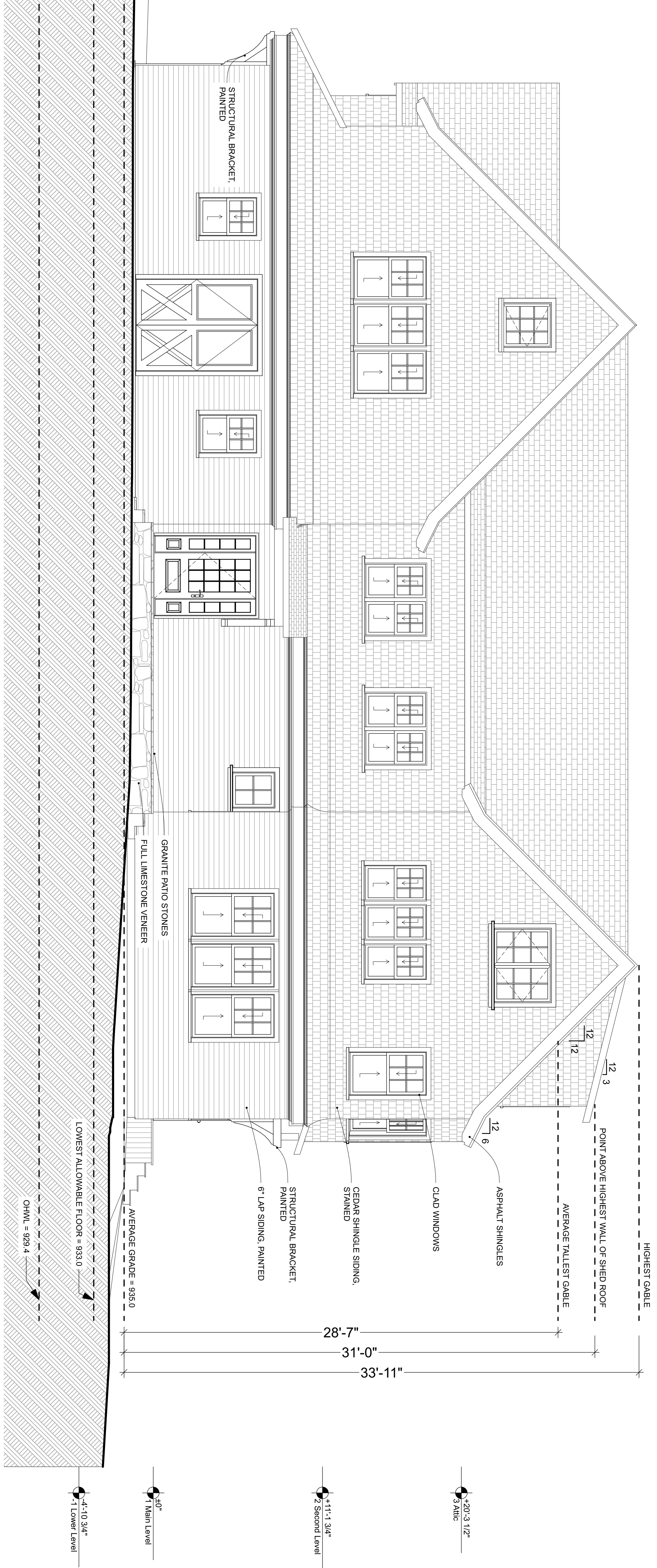
CURRENT REVISIONS

REV DESCRIPTION

SHEET NAME

Exterior Elevation & Building Height

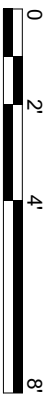
A2.01



North Elevation & Building Height Analysis

1

SCALE: 1/4" = 1'-0"



BUILDING HEIGHT CALCULATION
HOW-TO FORM

Job Address 2971 Cambridge Lane

Per Mound City Code, Section 129-2, building height and building line are defined as follows:

Building Height The vertical distance to be measured from the average grade of a building line to the top, to the cornice of a flat roof, to the deck line of a mansard roof, to a point on the roof directly above the highest wall of a shed roof, to the uppermost point on a round or other arch type roof, to the mean distance of the highest gable on a pitched roof.

Building Line A line parallel to the street right-of-way or the ordinary high water level at any story level of a building and representing the minimum distance which all or any part of the building is set back from said right-of-way line or ordinary high water level.

COMPLETE THE FOLLOWING

1. Describe the type of roof style proposed (i.e., pitched, flat, shed roof, etc.)
PITCHED & SHED
2. Provide the average grade elevation of the building line facing the street:
935.6
based on proposed grades referenced on submitted survey.
3. Provide the average grade elevation of the building line facing the rear of the lot or lake:
934.4
based on proposed grades referenced on submitted survey.
4. Provide the average grade elevation of the building line(s): **935**
5. Provide the height of the proposed structure as measured from the lowest grade elevation to highest point of structure: _____.
6. Provide the proposed height of the structure based on the definition of building height referenced above: _____.
7. **Attach diagram** - Graphic documentation, usually an elevation drawing, must be provided to confirm that the proposed height of the new structure, based on the Zoning Ordinance definition, meets the height regulations of the applicable zoning district. Graphics document must be sealed to allow for checking by staff.

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well as fines up to \$100,000 per offense.

PROJECT

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PROJECT ADDRESS

Mound, MN 55364

Mound, MIN 55364

PRINTED DATE: 10/15/25

DRAWN BY: ELH

ISSUE HISTORY

E01	10/13/23	Permit
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CURRENT REVISIONS

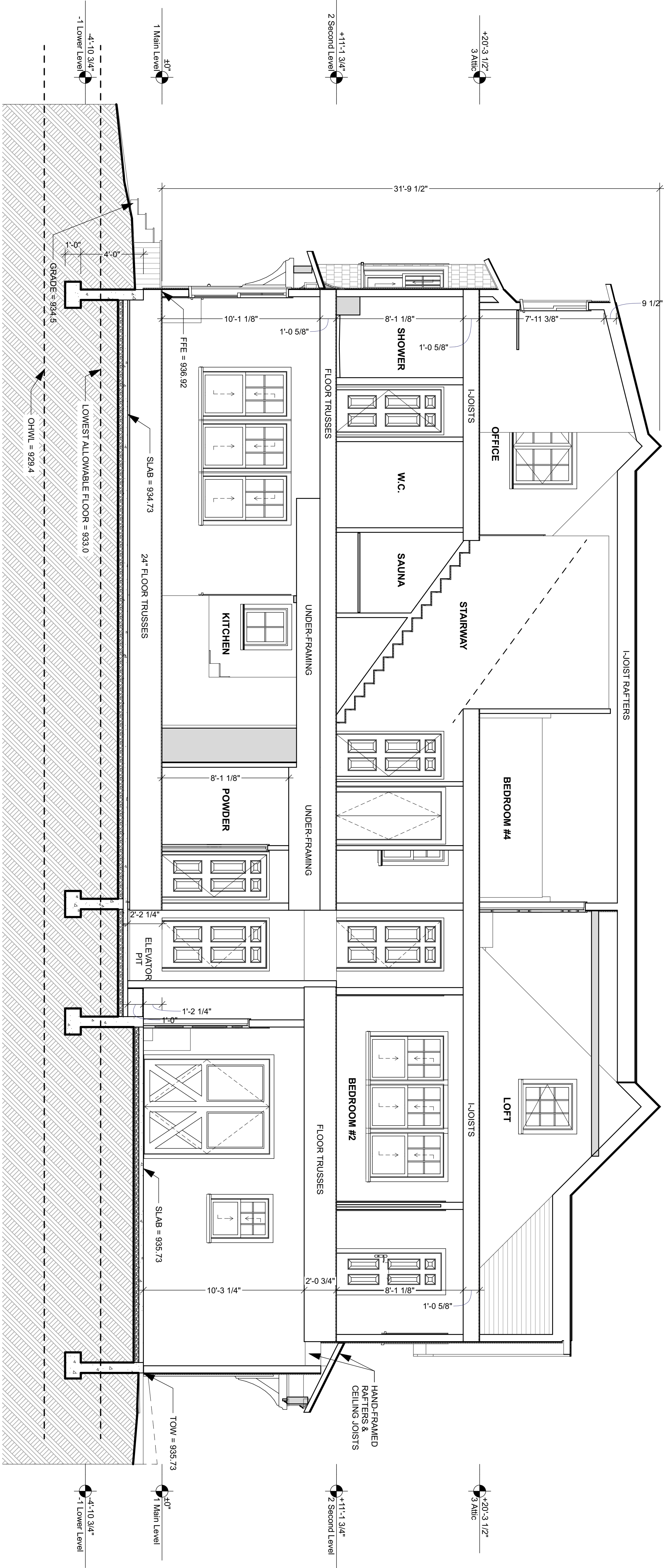
REV	DESCRIPTION
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SCALE AS INDICATED

SHEET NAME

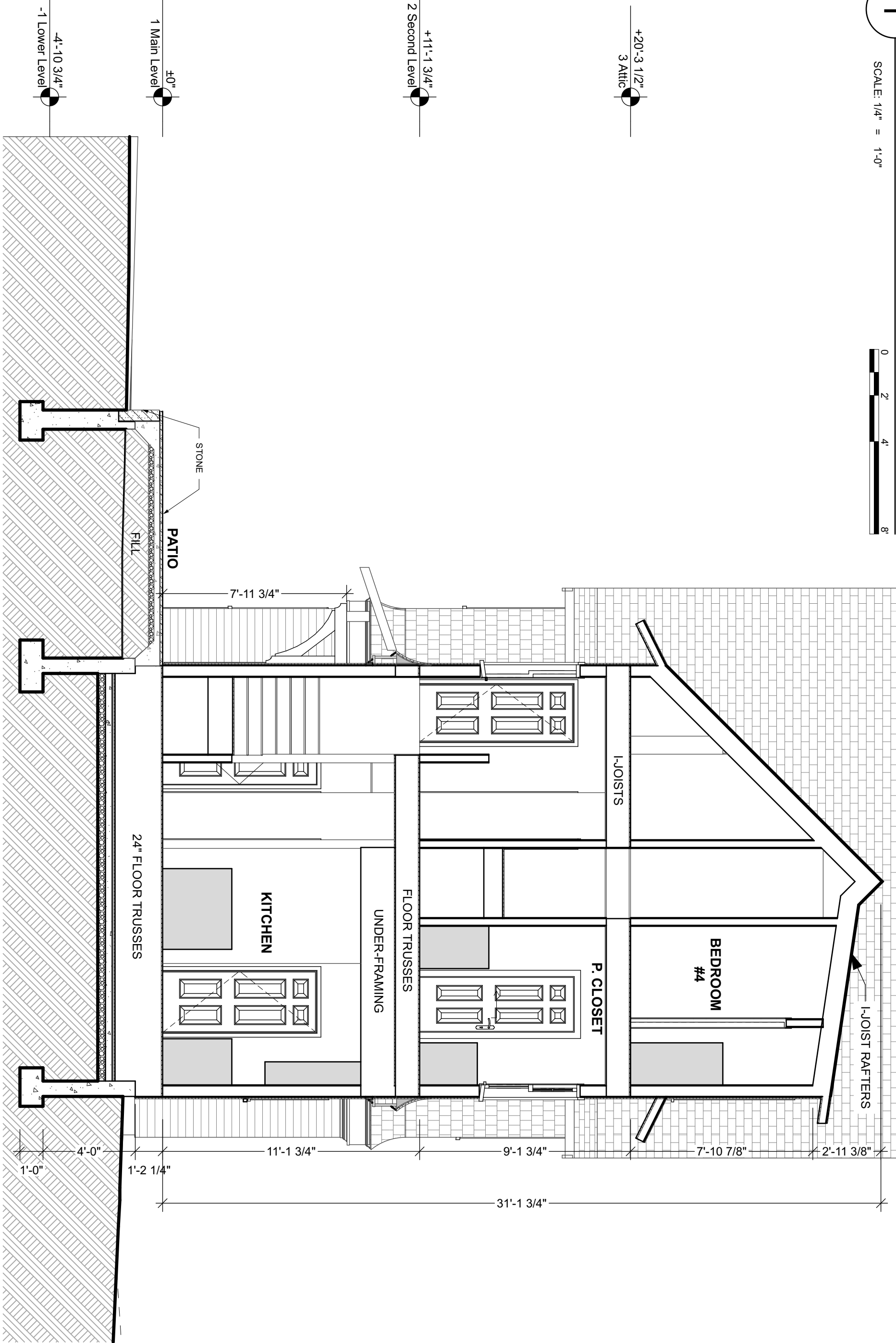
Building Sections

A301



Building Section A

SCALE: 1/4" = 1'-0"



Building Section

SCALE: 1/4" = 1'-0"



WINDOW SCHEDULE									
ID	Qty.	Location	Rough Opening	Head Height to Home Story	Type	Interior Finish	Remarks	View from Opening Side	
W-01	1		2'-6"x3'-0"	8'-1"	---	---			
W-02	1		3'-1"x5'-9"	8'-1"	---	---			
W-03	1		2'-5"x3'-3.58"	6'-11 1/2"	---	---			
W-03	3		3'-1"x5'-9"	8'-1"	---	---			
W-04	2		3'-1"x5'-9"	8'-1"	---	---			
W-05	3		2'-11"x6'-4 1/2"	8'-1"	---	---			
W-06	2		2'-6"x3'-3"	8'-1"	---	---			
W-07	1		4'-0"x4'-7"	8'-1"	---	---			
W-08	1		2'-5"x3'-3.58"	6'-11 1/2"	---	---			
W-09	2		2'-9"x4'-1"	6'-11 3/16"	---	---			
W-10	2		5'-0"x4'-4"	6'-11 1/2"	---	---			
W-11	3		2'-7"x4'-4 1/2"	6'-11 1/2"	---	---			
W-13	1		3'-1"x5'-4 1/2"	6'-11 1/2"	---	---			
W-14	2		1'-10"x5'-4 1/2"	6'-11 1/2"	---	---			
W-15	1		5'-0"x5'-4 1/2"	6'-11 1/2"	---	---			
W-16	1		4'-4"x4'-1"	6'-11 1/2"	---	---			
W-17	1		2'-7"x2'-7"	6'-11 1/2"	---	---			
W-18	2		2'-7"x4'-4 1/2"	6'-11 1/2"	---	---			
W-19	3		3'-1"x5'-1"	6'-11 1/2"	---	---			
W-19	3		3'-1"x5'-4 1/2"	6'-11 1/2"	---	---			
W-20	2		3'-1"x4'-1"	6'-11 1/2"	---	---			
W-21	1		5'-0 1/2"x4'-0"	6'-0"	---	---			
W-22	3		2'-7"x4'-4 1/2"	6'-11 1/2"	---	---			
W-23	1		2'-7"x2'-7"	6'-11 1/2"	---	---			
W-24	3		3'-1"x5'-4 1/2"	6'-11 1/2"	---	---			
W-25	2		3'-1"x3'-4"	6'-0"	---	---			

EXTERIOR DOOR SCHEDULE					
ID	Qty.	Nominal W x H Size	View from Opening Side	2D Plan Preview	Remarks
A	1	6'-0"x6'-0"			
D-02	1	2'-4"x6'-8"			
D-02	1	3'-0"x6'-8"			
D-02	1	4'-0"x6'-8"			
D-02	1	5'-0"x6'-8"			
D-02	2	2'-8"x6'-8"			
D-04	1	2'-8"x6'-1"			
D-04	1	3'-0"x6'-8"			

INTERIOR DOOR SCHEDULE					
ID	Qty.	Nominal W x H Size	View from Opening Side	2D Plan Preview	Remarks
A	1	2'-6"x6'-8"			
D-01	7	2'-4"x6'-8"			
D-02	1	2'-6"x6'-8"			
D-02	1	2'-8"x4'-0"			
D-02	4	3'-0"x6'-8"			
D-02	5	2'-4"x6'-8"			
D-02	7	2'-8"x6'-8"			
D-03	1	3'-0"x6'-8"			
D-03	2	2'-6"x6'-8"			
D-04	1	4'-8"x6'-8"			
D-04	2	2'-4"x6'-8"			
D-04	2	4'-0"x6'-8"			

DOOR NOTES				
1. Door sizes indicate nominal dimensions. Size rough openings per manufacturer requirements.				
2. All exterior doors to be set on 3/4" board.				
3. Supplier to confirm all doors meet tempered glazing requirements per MSRC.				
4. Door and hardware materials and finishes to be selected by client				

WINDOW NOTES				
1. Window sizes indicate rough opening dimensions (size rough openings to allow for tapered pan flashing per manufacturer requirements).				
2. Refer to exterior door heights and align top of windows accordingly with doors of nominally equivalent head heights.				
3. Verify jamb depths.				
4. Interior of windows to be primed and painted on site.				
5. Window glazing to be simulated divided lites with spacer bars.				
6. Hardware finish to be selected by client.				
7. Window treatments to be designed and provided by others.				
8. Supplier to confirm all windows meet tempered glazing requirements, egress requirements, and fall protection requirements per MSRC.				

ARCHITECT & BUILDER				© 2025
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CLIENT NAME Tim & Joan Kenny				
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DRAWN BY: ELH				
ISSUE HISTORY				
ISSUE	DATE	ISSUED FOR		
E01	10/15/25	Submission - Expansion Permit		
CURRENT REVISIONS				
REV	DESCRIPTION			

2415 Wilshire Boulevard
Mound, MN 55364
(952) 472-0604

City of Mound

Memorandum

To: Planning Commission
From: Sarah Smith, Comm. Dev. Director
Date: November 13, 2025
Re: 2025 Work Plan Project – Exterior Storage

Summary. Review of exterior storage was included in the 2025 Planning Commission's work plan list. Staff requests review/discussion from the Planning Commission at its November 18th meeting related the specific areas of the City exterior storage regulations the Planning Commission would like to evaluate so Staff can prepare a report/study to be brought back to an upcoming meeting.

The exterior storage regulations are included in City Code Sec. 129-314 and have been included as an attachment.

ZONING

such conformance.

(Code 1987, § 350.700; Ord. No. 61-1993, § 350.705, 2-23-1994)

Sec. 129-314. Exterior storage.

In all residential districts, it is the responsibility of the owner of any property, improved or unimproved, to maintain the outdoor areas; including courtyards and the like, of the property and adjacent rights-of-way in a manner that prevents blight and complies with the following requirements:

(a) *Storage on private property.* Exterior storage of ice shelters, recreational vehicles, motorized vehicles, utility trailers, watercraft, or watercraft trailers is permitted on all residentially zoned properties and shall be regulated as follows:

(b) *Developed lots.* Exterior storage on lots with principal dwellings shall be limited to no more than one (1) ice shelter, recreational vehicle, motorized vehicle, utility trailer, watercraft, watercraft trailer, objects screened by a tarp or other screening device, or any combination thereof, for every 1,500 square feet of lot area, up to a maximum of six (6).

(c) *Undeveloped lots.* Exterior storage on lots with no principal dwelling is prohibited unless undeveloped lot abuts a developed lot and is tax combined at Hennepin County.

(d) *Storage for hire prohibited.* All exterior storage items must be owned by, leased to, or rented to the owner or occupant of the property on which it is stored. The storage of un-owned items under storage for hire, trade, or other in-kind consideration is prohibited on all residential properties.

(e) *Storage of recreational vehicles, utility trailers, and ice shelters.* Storage of recreational vehicles, utility trailers, and ice shelters shall be regulated as follows:

(1) It is unlawful for any person to use for human habitation a recreational vehicle, utility trailer or ice shelter that is parked or stored upon public property.

(2) It is unlawful for any person to park or store a recreational vehicle, utility trailer or ice shelter for human habitation upon any private property for more than 72 hours, without first obtaining a permit from the City, which may not exceed 14 days in aggregate.

(3) All outdoor storage of recreational vehicles, utility trailers and ice shelters stored in whole on areas meeting the requirements of section 121-146 (13), are permitted to be stored no closer than one foot to any side, front, or rear lot line, so long as the construction of the area meets the requirements of section 121-146 (13).

(4) All exterior storage on an area which does not comply with subd. 3 shall be stored no less than five (5) feet from any lot line.

(f) *Storage of motorized vehicles.* Storage and parking of all motorized vehicles other than recreational vehicles shall be regulated as follows:

(1) Operability and restorations. All outdoor storage of motorized vehicles on any residentially zoned property within the City shall be operable. The parking or exterior storage of junk vehicles is prohibited.

(2) Exterior storage of motorized vehicles other than recreational vehicles, with a maximum gross vehicle weight (GVW) of 10,000 pounds or less is allowed in all residential districts.

(3) Exterior storage of motorized vehicles in excess of 10,000 pounds GVW is prohibited in all residential districts.

(4) All exterior storage of motorized vehicles stored in whole on areas of impervious cover are permitted to be stored no closer than one (1) foot to any side, front, or rear lot line, so long as the construction of the area meets the requirements of section 121-146 (13). Storage on an area which does not meet the requirements of section 121-146 (13) shall be considered storage on non-impervious cover.

(5) All exterior storage of motorized vehicles on areas of non-impervious cover shall be stored no less than five (5) feet from any lot line.

ZONING

(g) *Storage of watercraft and watercraft trailers.* Watercraft, unoccupied watercraft trailers, and watercraft on watercraft trailers shall be subject to the following storage requirements:

(1) *Operability and restorations.* All watercraft stored in the open on any residentially zoned property within the City shall be in operable condition. The storage of junk watercraft or junk watercraft trailers is prohibited.

(2) *Allowed outdoor storage locations.* The exterior storage of watercraft and unoccupied watercraft trailers on residential properties is permitted as follows:

i. *Lakeshore lots.* Watercraft and unoccupied watercraft trailers may be stored in a side yard, rear yard, front yard, and lakeshore yard, so long as the storage meets required setbacks and have no significant impact on lake views to adjacent lakeshore properties.

ii. *Non-lakeshore lots.* Watercraft and unoccupied watercraft trailers may be stored in front yard, side yard, or rear yard areas, so long as the storage meets required setbacks.

(3) *Required setbacks.* All exterior storage of watercraft and watercraft trailers shall be subject to the following setbacks:

i. *Storage on impervious cover.* All exterior storage of watercraft and watercraft trailers stored in whole on areas of impervious cover are permitted to be stored no closer than one (1) foot to any side, front, or rear lot line, so long as the construction of the area meets the requirements of section 121-146 (13). Storage on an area which does not meet the requirements of section 121-146 (13) shall be considered storage on non-impervious cover.

ii. *Storage on non-impervious cover.* All exterior storage of watercraft and watercraft trailers on areas of non-impervious cover shall be stored no less than five (5) feet from any lot line.

(h) *Storage of special mobile equipment.* The exterior storage of special mobile equipment on any residentially zoned property shall be prohibited; exclusive of equipment stored on a property for use in conjunction with a valid building permit issued by the City.

(i) *Prohibited exterior storage.* The exterior storage of any of the following is prohibited:

(1) *Trash and debris.*

- i. All garbage, rubbish, animal carcasses, animal and human waste, and other waste materials stored outside of an approved rubbish pre-collection container;
- ii. Accumulations of litter, glass, scrap materials (such as wood, cardboard, metal, paper, or plastics), junk, combustible materials, stagnant water, plastic bags, trash, or other debris outside of an approved rubbish pre-collection container;
- iii. Rubble, trash, debris, spoil, and other construction wastes generated during permitted construction not removed from the property within 21-days of being generated.
- iv. Accumulations of discarded, disused, or junk clothing, furniture, carpet, or any other items not designed for outdoor storage.

(2) *Non-trash items.*

- i. Accumulations of discarded, disused, or junk wood or plastic pallets;
- ii. Accumulations of automotive parts or tires;
- iii. All construction and building materials, unless such materials are being used at the time in the construction of a building, in which case, such construction must be permitted and on a continuous, uninterrupted basis;
- iv. All discarded, disused, or junk appliances or appliance parts;
- v. All indoor or upholstered furniture of a type or materials which is deteriorated by exposure to outdoor elements; or

ZONING

vi. All recycling materials, except for reasonable accumulations, amounts consistent with a policy of regular removal, which are stored in a well-maintained manner according to Chapter 54.

(3) *All other non-trash items.*

Storage of items which are a type or quantity inconsistent with normal and usual use;

Are of a type or quantity inconsistent with the intended use of the property; or

Are likely to obstruct or impede the necessary passage of fire or other emergency personnel.

(j) *Exterior storage of firewood.* Exterior storage of firewood may be stored upon all residential properties solely for use on the premises and not offered for resale. All firewood located upon residential properties shall be stored as follows:

(1) All firewood shall be cut or split, prepared for use, and stored in a regular, orderly arrangement that is stable and reasonably resistant to collapse.

(2) The height of a woodpile over three (3) feet shall be no more than twice its width, with a maximum height of six (6) feet.

(3) Firewood shall be stored not less than three and one-half (3.5) inches off the ground and on a well supported, non-rotting base.

(4) Storage of firewood shall be permitted in side and rear yard areas only and must maintain a minimum setback of four (4) feet from any side or rear lot line, unless separated by a fence, then no closer than one (1) foot.

(k) *Violation subject to abatement.* A violation of this Code shall be deemed a public nuisance, subject to the notification and abatement procedures contained within Chapter 42.

(Ord. No. 01-2017, 2-5-2017; Ord. No. 01-2020, 2-9-2020)

Sec. 129-315. Refuse.

(a) In all districts, all waste material, with the exception of debris, refuse, or garbage shall be kept in an enclosed building or properly contained in a closed container designed for such purposes. The owner of vacant land shall be responsible for keeping such land free of refuse. Existing uses shall comply with this provision within six months following the enactment of the ordinance from which this chapter is derived.

(b) Passenger vehicles and trucks in an inoperative state shall not be parked in residential districts for a period exceeding 96 hours. The term "inoperative" means incapable of movement under their own power and in need of repairs or removal to junk yard. All exterior storage not included as a permitted accessory use, a permitted use, or included as part of a conditional use permit, or otherwise permitted by provisions of this chapter shall be considered as refuse.

(Code 1987, § 350.715; Ord. No. 61-1993, § 350.715, 2-23-1994)

Sec. 129-316. Screening and buffering.

(a) Screening shall be required in all residential zones where:

(1) Any off-street parking area contains more than four parking spaces and is within 30 feet of an adjoining residential zone; and

(2) Where the driveway to a parking area of more than six parking spaces is within 15 feet of an adjoining residential use or zone.

(b) Where any business (structure, parking or storage) is adjacent to property zoned or developed for any residential use, that business or industry shall provide screening along its boundary with the residential property. Screening shall also be provided where a business, parking lot, or industry is across the street from a residential zone, but not on that side of a business or industry considered to be the front (as determined by this chapter).

(c) All exterior storage in commercial districts shall be screened. The exceptions are: